

# Wenatchee Housing Code Update

Planning Commission Briefing  
July 17, 2019

Zoning and  
Guideline  
Proposals



# Agenda

- Review of work to date: Audit, Public engagement and Feasibility analysis
- Comments from development community members and the public
- Zoning proposals
- Design Guideline Proposals
- Schedule & Next Steps
- Questions & Comments



# SUGGESTED OPPORTUNITIES



- Focus on the “Missing Middle”.
- Different opportunities for different areas.
- Make sure new development is compatible through guidelines.
- Encourage a broad range of housing types and configurations.

## 1 FOOTHILLS



## 2 TRADITIONAL NEIGHBORHOOD



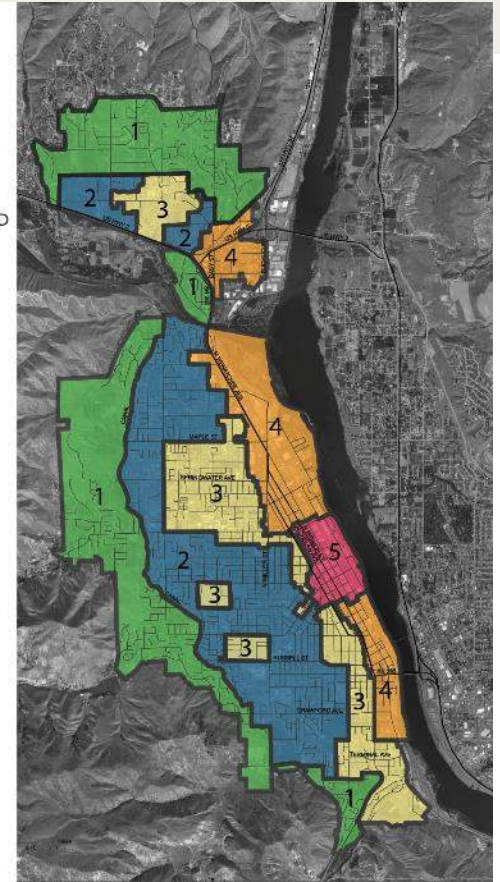
## 3 MIXED RESIDENTIAL



## 4 CORRIDOR



## 5 DOWNTOWN





# ENCOURAGE A GREATER RANGE OF HOUSING TYPES





# Public Workshop #1

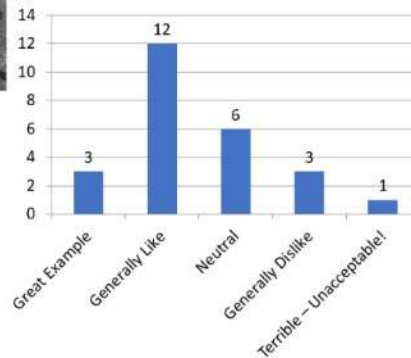
- Goals and objectives
- Visual Preference Survey

## Visual Preference Survey Results!

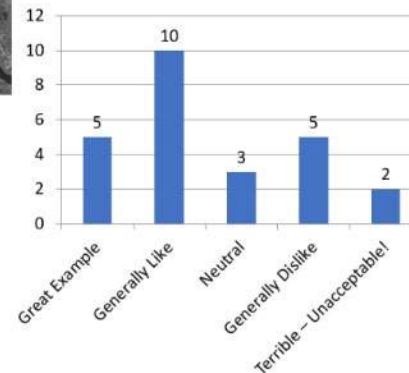
From the July 10, 2018 Workshop



FOOTHILLS 1a



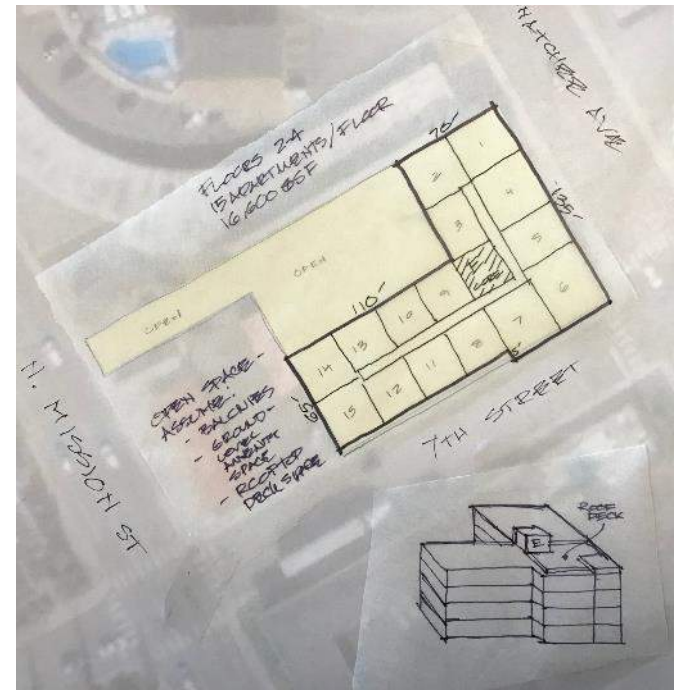
MIXED RESIDENTIAL 3c





# Feasibility Analysis

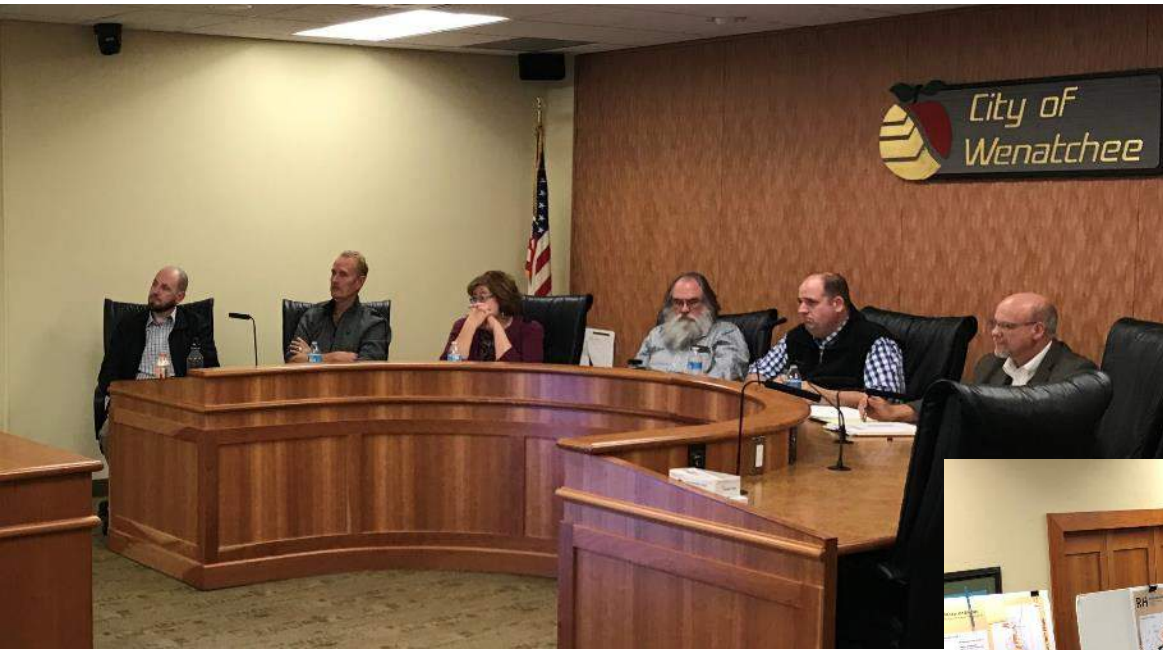
- Analyzed residential types were generally feasible at 8% capitalization rate (profit).
- Land value varies dramatically – between \$4.75/SF and \$22.24/SF. (\$16./SF was assumed for study)
- Parking is significant contributor to cost. Higher density projects are more able to cover parking costs.
- Single family residential development is feasible when the land is less than \$5.00/SF.





# Public Workshop #2

- Developers' Forum
- Review of key concepts and directions





# Some Advice from the Experts at Developers' Forum

Q. What are the greatest challenges to providing a **greater variety of attractive housing**?

A. Planned Residential Development **process** is the only to get flexibility and is time consuming.

There is a “gap” in the **RM regs**.

It is **hard to make mixed-use work** in many places.

The **max. densities for some zones are too low**.

People (and developers) need to be aware that **other forms of housing** can be very positive. Need and education program.

# Some Advice from the Experts at Developers' Forum

Q. What do you feel are the greatest challenges to **enhancing the livability** of Wenatchee's neighborhoods?

A. Need **housing for seniors**.

Need **good engineering** from the beginning.

Need housing in locations where residents are **not dependent on driving**.

**Allow townhouses** that maintain SF residential scale.

Provide **training to planning staff** in use of guidelines and zoning provisions.



# Some Advice from the Experts at Developers' Forum

**Q. Do you have any thoughts on individual proposals?**

**A. Provide examples of good development** to encourage a broader range of housing types and show both residents and developers what can be done.

**Delay hook up fees** until occupancy.

Keep permit **review process simple**.

Allow **flexibility**.

Allow **enclosed porches**.

Allow **near-by parks** to count as **residential open space**.

# Zoning Proposals & Options





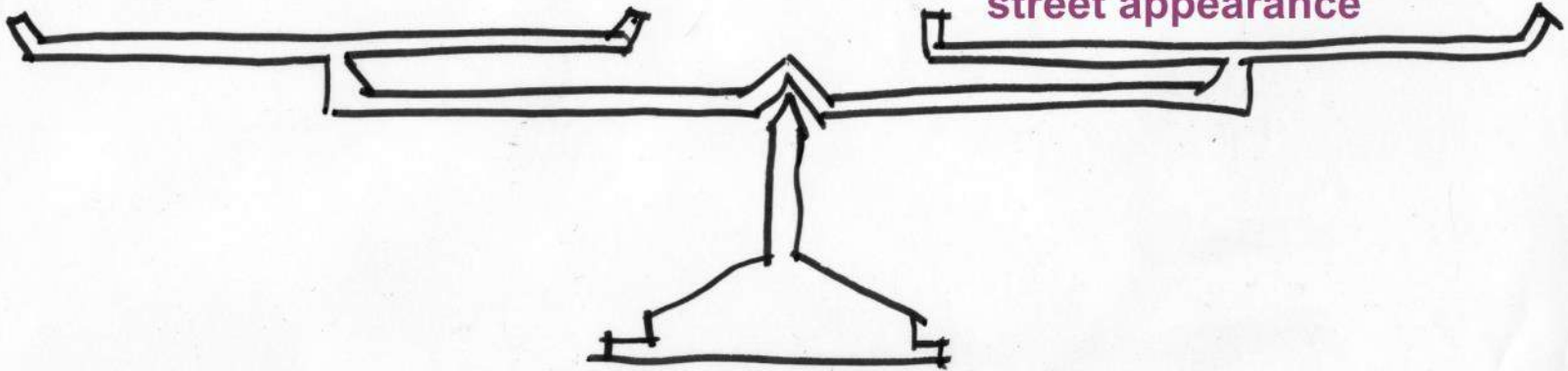
# Balance greater zoning and process flexibility with design standards to address neighborhood objectives

## GREATER ZONING FLEXIBILITY

- Dimensional adjustments
- Greater densities if compatibility is achieved
- Increased housing types
- Permit process simplified.

## GREATER DESIGN CONTROL

- Compatibility with neighbors
- Adequate parking
- Privacy and livability maintained
- Higher quality and better street appearance



# REDUCE SOME DIMENSIONAL REQ

Reduce single family lot sizes

**BUT**

Retain current side yards and maximum height to avoid impacts to neighbors

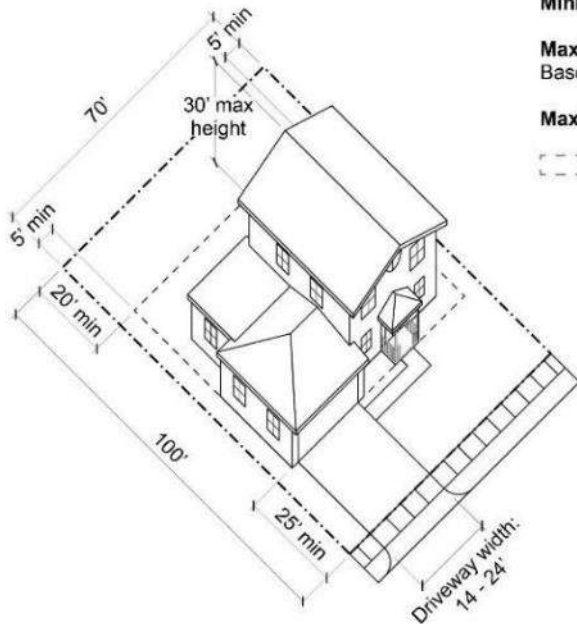
EXAMPLE LOT/HOUSE AT MINIMUM LOT SIZE

**Minimum lot size:** 7,000 SF

**Maximum density:**  
Based on minimum lot size

**Maximum lot coverage:** 35%

Setback envelope



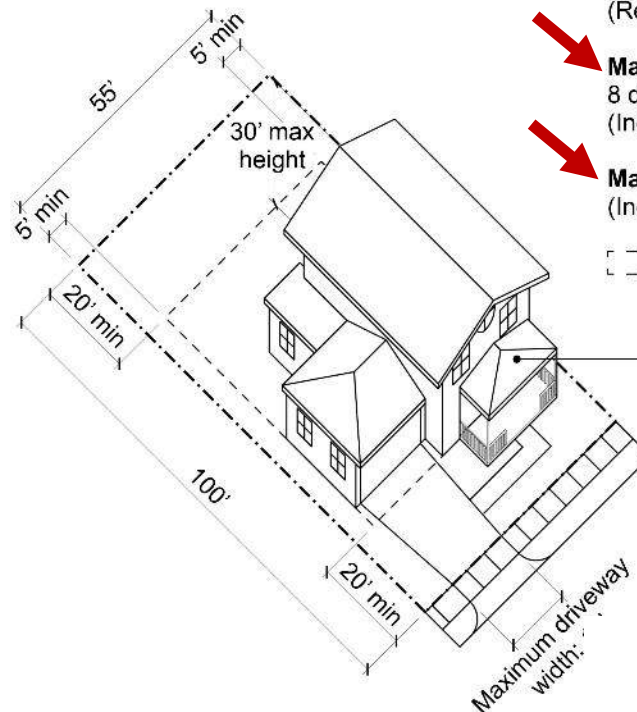
EXAMPLE LOT/HOUSE AT MINIMUM LOT SIZE (FOR SINGLE FAMILY)

**Minimum lot size:** 5,000 SF  
(Reduced from 7,000 SF)

**Maximum density:**  
8 dwelling units/acre  
(Increased from roughly 6 du/acre)

**Maximum lot coverage:** 45%  
(Increased from 35%)

Setback envelope



Porch projection  
(up to 8')  
is allowed within  
front setback

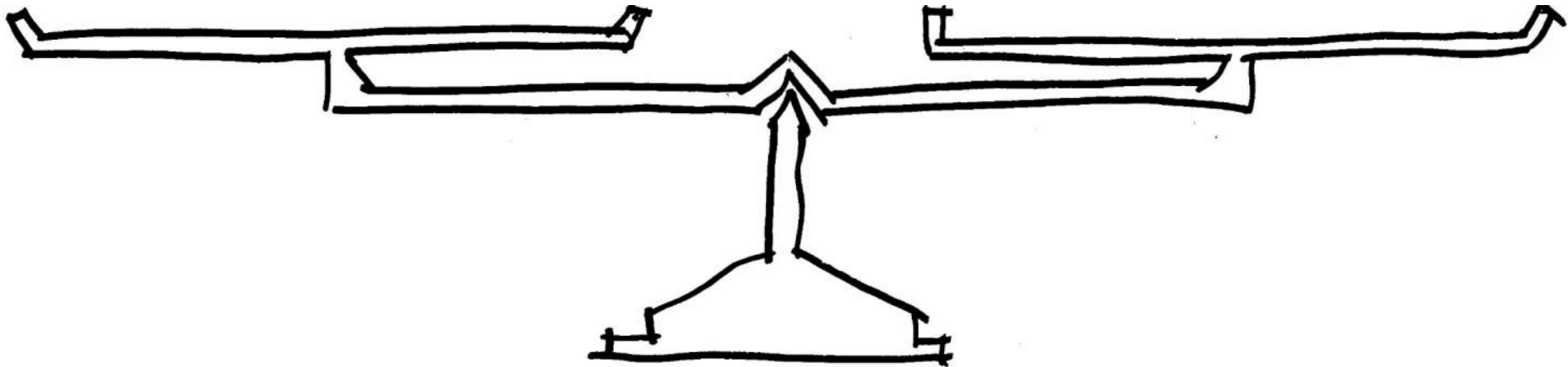


# ALLOW A GREATER VARIETY OF HOUSING

Allow a greater range in house types in residential zones.

**BUT**

Strengthen guidelines to help the new buildings fit with existing neighborhoods.



# Specific Zoning Proposals

## TIME TO GET UNDER THE HOOD



### WENATCHEE DEVELOPMENT STANDARDS CHARTS: UPDATED CHAPTER 10.46 Draft July 10, 2019

#### NOTES:

- Only those sections/subsections with proposed changes are shown.
- All definitions are new, except for those that are **tracked**.

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	except: 10,000sf+ for a duplex	except: 8,000sf+ for a duplex	except: 4,500sf+ for a duplex	except: 4,000sf+ for a duplex		
Cluster subdivision lot	3,600sf	3,000sf	N/A	N/A		WCC-10.46.060
Lot width	70-feet	50-feet	30-feet	30-feet	100-feet	WCC-10.46.070
Lot with alley access	50-feet	30-feet	25-feet	25-feet	100-feet	
Cluster subdivision lot	50-feet	30-feet	N/A	N/A	N/A	
Lot depth	100-feet	98-feet	80-65-feet	67-feet	150-feet	WCC-10.46.070
Cluster subdivision lot	80-feet	60-feet	N/A	N/A	N/A	
Setback Standards (WCC-10.46.080)						
Front Street minimum	20-feet from the	20-feet from the	15-feet from the front	10-feet from the	25-feet from the front	WCC-10.46.080(2)

districts. Planned  
considerations.

Methods and Section 10.47  
standards conflict with  
column indicating  
in WCC.

Conditions/  
Exceptions/  
Reference

sf

WCC-10.47.050

WCC-10.46.070

WCC-10.46.070

WCC-10.46.080(2)

(1) 15 feet from



# Applicable Zoning Chapters

## **10.08 Definitions**

10.10 District Use Chart

10.46 Development Standards Charts

10.47 Residential Use Standards (*new*)

10.48 General Development Regulations

10.62 Landscaping and Screening

Misc. Title 10 Code Changes

- 10.11-40 (Districts/Standards)
- Universal changes

# WENATCHEE DEFINITIONS: UPDATED CHAPTER 10.08

Draft July 10, 2019

## NOTES:

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## Contents

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10.08.135 "T." .....	2

### 10.08.050 "C."

~~"Carriage unit" means a single-family dwelling unit, not to exceed 800 square feet in floor area, located above a garage structure in a cottage housing development.~~

"Cottage housing" ~~refers to means four or more small and mostly,~~ detached individual dwelling units sharing commonly owned open space, courtyard and parking area(s). (Ord. 2011-49 § 4 (Exh. B); Ord. 2011-24 § 4; Ord. 2010-03 § 1 (Exh. A); Ord. 2007-34 § 2 (Exh. A)). Lots where two to three cottage houses are proposed (referred to as "infill-cottage housing") are subject to the provisions of WMC 10.47.060. Lots where four or more cottage houses are proposed are subject to the provisions of WMC 10.47.070.

"Courtyard housing" means small multifamily units arranged around a courtyard and complying with the provisions of WMC 10.47.090.

### 10.08.055 "D."

~~"Dwelling, attached single-family" means at least two or more permanent attached residential living units each containing sufficient facilities to function as an independent dwelling unit such as a townhouse or row house. Each dwelling unit is located on a separate lot.~~

"Dwelling, multifamily" means three or more attached ~~or detached~~ residential dwelling units on one lot or parcel.

### 10.08.070 "G."

"Ground-related residential units" refers to dwelling units that contain individual entrances at or near the ground level.



# Applicable Zoning Chapters

## 10.08 Definitions

### **10.10 District Use Chart**

### 10.46 Development Standards Charts

### 10.47 Residential Use Standards (*new*)

### 10.48 General Development Regulations

### 10.62 Landscaping and Screening

### Misc. Title 10 Code Changes

- 10.11-40 (Districts/Standards)
- Universal changes

# WENATCHEE PERMITTED RESIDENTIAL USES: EDITS TO CHAPTER 10.10

Draft July 10, 2019

## NOTES:

- Only those sections/subsections with proposed changes are shown.
- Proposed changes are **tracked**.
- WCC cross-references below are proposed new code numbers

10.10.020 District use chart. See also referenced code sections.

District Use Chart

Uses	Commercial Districts					Mixed Use Districts			Residential Districts					Overlay Zones					
	CBD	NWBD	SWBD	CN	I	WMU	OMU	RMU	RF	RS	RL	RM	RH	HEO	CSO	MRC	IO	PO	RRO
<b>Residential</b> (Most residential developments are also subject to the Residential Design Guidelines)																			
Single-family dwelling (WCC 10.47.040)	~	P <sub>12</sub> ~	P <sub>12</sub> ~	P <sub>12</sub> ~	~	~	P <sub>11</sub>	P	P	P	P	P	~	~	~	P	~	~	~
Single-family cluster (WCC 10.47.050)																			
Single-family courtyard (WCC 10.47.060)																			
Duplex (WCC 10.47.080)	~	P <sub>12</sub> ~	P <sub>12</sub> ~	P <sub>12</sub>	~	~	P <sub>11</sub>	P	~	P	P~	P	P	~	~	P	~	~	~
One-to-two-unit dwellings	P <sub>1</sub>	P <sub>2</sub>	P <sub>2</sub>	P <sub>1</sub>	~	~	P	P	~	P~	P~	P~	P	P <sub>1</sub>	P <sub>2</sub>	P	~	P <sub>2</sub>	P <sub>1</sub>
Multifamily dwellings (WCC 10.478.120080)	P <sub>11</sub>	P <sub>2</sub>	P <sub>2</sub>	P <sub>11</sub>	~	P	P	P	~	~	~	P~	P	P <sub>1</sub>	P <sub>1</sub>	P	~	P	P
Accessory building, residential	~	~	~	~	~	P	P	P	P	P	P	P	P	~	~	P	~	P	P
Accessory dwelling unit (ADU) (WCC 10.478.0340)	~	~	~	~	~	~	P	P	P	P	P	P	~P	~	~	P	~	~	~
Adult family home	AU	AU	AU	AU	~	AU	P	P	P	P	P	P	P	~	~	P	~	~	~
Bed and breakfast																			

## Conditions:

- Only such uses in existence as of (ADD ADOPTION DATE OF THIS ORDINANCE) are considered a permitted use.
- Subject use is not allowed on the ground level designated pedestrian-oriented streets (per Figure C.1.d in the Residential Development Guidelines).
- Subject use is not allowed on the ground level unless within a building that is placed behind a commercial or mixed-use building.



Uses	Commercial Districts					Mixed Use Districts			Residential Districts					Overlay Zones					
	CBD	NWBD	SWBD	CN	I	WMU	OMU	RMU	RF	RS	RL	RM	RH	HEO	CSO	MRC	IO	PO	RRO
Cottage housing (WCC 10.478.0760)	~	~	~	~	~	~	P	P	~	P	P	P	P	~	~	P	~	~	~
<u>Courtyard housing (WCC 10.47.090)</u>	~	~	~	~	~	~	P	P	~	P <sub>10</sub>	P <sub>10</sub>	P	P	~	~	P	~	P	P
<u>Townhouses (WCC 10.47.100)</u>	~	P <sub>12</sub>	P	P <sub>15</sub>	~	~	P	P	~	P <sub>10</sub>	P <sub>10</sub>	P <sub>10</sub>	P	~	~	P	~	P	P
Group home (six or less)	~	~	~	~	~	~	P	P	C	P	P	P	P	~	~	P	~	~	P
Group home (seven or more)	P <sub>1</sub>	P <sub>1</sub>	P <sub>1</sub>	P <sub>1</sub>	~	C	C	C	C	C	C	C	P	P <sub>1</sub>	P <sub>1</sub>	C	C	C	C
<u>Live-work dwellings (WCC 10.47.110)</u>		P	P	P		P	P	P					P			P			
Home occupation	~	~	~	~	~	~	P	P	C	C	C	P	P	~	~	P	~	~	P
Home occupation, mailing address only (WCC 10.48.140)	~	~	~	~	~	~	P	P	P	P	P	P	P	~	~	P	~	~	P
Farm animals, large and small (WCC 10.48.110)	~	~	~	~	~	~	P	P	P	P	P	P	P	~	~	P	~	~	~
Manufactured home <sup>1</sup> (WCC 10.48.200)	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~
Manufactured home, designated (WCC 10.48.200)	~	~	~	~	~	~	P	P	P	P	P	P	P	~	~	P	~	~	~
Manufactured/mobile home park (as a residential planned development) (WCC 10.48.200)	~	~	~	~	~	P	P	P	~	P	P	P	P	~	~	P	~	~	~
Mobile home <sup>2</sup> (WCC 10.48.200)	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~
Modular home																			

### Conditions:

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- 13 Subject use is not allowed on the ground level designated pedestrian-oriented streets (per Figure C.1.d in the Residential Development Guidelines).
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- 15 Subject use is not allowed unless within a building that is placed behind a commercial or mixed-use building.

# WENATCHEE PERMITTED RESIDENTIAL USES: EDITS TO CHAPTER 10.10

Draft July 10, 2019

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10.10.020 District use chart. See also referenced code sections.

District Use Chart

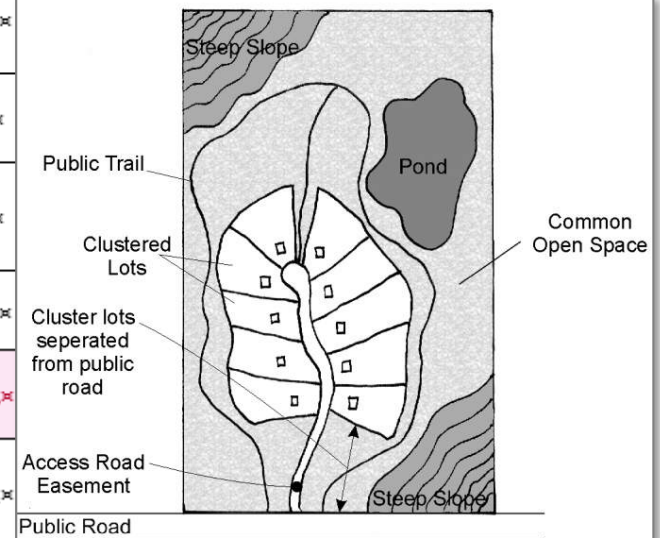
Uses	Commercial Districts					Mixed Use Districts			Residential Districts					Overlay Zones					
	CBD	NWBD	SWBD	CN	I	WMU	OMU	RMU	RF	RS	RL	RM	RH	HEO	CSO	MRC	IO	PO	RRO
<b>Residential</b> (Most residential developments are also subject to the Residential Design Guidelines)																			
Single-family dwelling (WCC 10.47.040)	~	P <sub>12</sub> ~	P <sub>12</sub> ~	P <sub>12</sub> ~	~	~	P <sub>11</sub>	P	P	P	P	P	~	~	~	P	~	~	~
Single-family cluster (WCC 10.47.050)																			
Single-family courtyard (WCC 10.47.060)																			
Duplex (WCC 10.47.080)	~	P <sub>12</sub> ~	P <sub>12</sub> ~	P <sub>12</sub>	~	~	P <sub>11</sub>	P	~	P	P~	P	P	~	~	P	~	~	~
One-to-two-unit dwellings	P <sub>1</sub>	P <sub>2</sub>	P <sub>2</sub>	P <sub>1</sub>	~	~	P	P	~	P~	P~	P~	P	P <sub>1</sub>	P <sub>2</sub>	P	~	P <sub>2</sub>	P <sub>1</sub>
Multifamily dwellings (WCC 10.47.120) (WCC 10.47.120)	P <sub>11</sub>	P <sub>2</sub>	P <sub>2</sub>	P <sub>11</sub>	~	P	P	P	~	~	~	P~	P	P <sub>1</sub>	P <sub>1</sub>	P	~	P	P
Accessory building, residential	~	~	~	~	~	P	P	P	P	P	P	P	P	~	~	P	~	P	P
Accessory dwelling unit (ADU) (WCC 10.47.0340)	~	~	~	~	~	~	P	P	P	P	P	P	~P	~	~	P	~	~	~
Adult family home	AU	AU	AU	AU	~	AU	P	P	P	P	P	P	P	~	~	P	~	~	~
Bed and breakfast																			

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Uses	Commercial Districts					Mixed-Use Districts			Residential Districts					Overlay Zones					
	CBD	NWBD	SWBD	CN	I	WMU	OMU	RMU	RF	RS	RL	RM	RH	HEO	CSO	MRC	IO	PO	RR
<b>Residential</b> (Most residential developments are also subject to the Residential Design Guidelines)																			
Single-family dwelling (WCC 10.47.040)	~	P <sub>12</sub>	P <sub>12</sub>	P <sub>12</sub>	~	~	P <sub>11</sub>	P	P	P	P	P	~P	~	~				
<b>Single-family cluster (WCC 10.47.050)</b>										P	P								
Single-family courtyard (WCC 10.47.060)										P	P	P	P						
Duplex (WCC 10.47.080)	~	P <sub>12</sub>	P <sub>12</sub>	P <sub>12</sub>	~	~	P <sub>11</sub>	P	~	P	P	P	P	~	~				
One-to-two-unit dwellings	P <sub>1</sub>	P <sub>2</sub>	P <sub>2</sub>	P <sub>1</sub>	~	~	P	P	~	P	P	P	P	P <sub>1</sub>	P <sub>2</sub>				
Multifamily dwellings (WCC 10.47.120-120.080)	P <sub>12</sub>	P <sub>2</sub>	P <sub>2</sub>	P <sub>1</sub>	~	P	P	P	~	~	~	P	P	P <sub>1</sub>	P <sub>1</sub>				
Accessory building																			



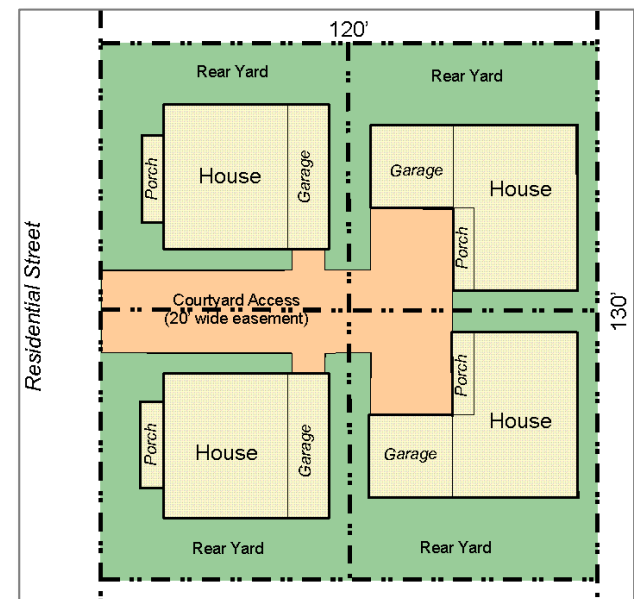
Corrections to draft noted in yellow above

“Single-family cluster” means a development with multiple single-family dwellings clustered on relatively small lots and integrating common open space. See WCC 10.47.050 for applicable development standards.

Uses	Commercial Districts					Mixed-Use Districts			Residential Districts					Overlay Zones					
	CBD	NWBD	SWBD	CN	I	WMU	OMU	RMU	RF	RS	RL	RM	RH	HEO	CSO	MRC	IO	PO	RRO
<b>Residential</b> (Most residential developments are also subject to the Residential Design Guidelines)																			
Single-family dwelling (WCC.10.47.040)	~	P <sub>12</sub>	P <sub>12</sub>	P <sub>12</sub>	~	~	P <sub>11</sub>	P	P	P	P	P	~P	~	~	P	~	~	~
Single-family cluster (WCC.10.47.050)	x	x	x	x	x	x	x	x	x	P	P	x	x	x	x	x	x	x	x
Single-family courtyard (WCC.10.47.060)	x	x	x	x	x	x	x	x	x	P	P	P	P	x	x	x	x	x	x
Duplex (WCC.10.47.080)	~	P <sub>12</sub>	P <sub>12</sub>	P <sub>12</sub>	~	~	P <sub>11</sub>	P	~	P	P	P	P	~	~	P	~	~	~
One-to-two-unit dwellings	P <sub>1</sub>	P <sub>2</sub>	P <sub>2</sub>	P <sub>1</sub>	~	~	P	P	~	P	P	P	P	P <sub>1</sub>	P <sub>2</sub>	P	~	P <sub>2</sub>	P <sub>1</sub>
Multifamily dwellings (WCC.10.47.120)	P <sub>12</sub>	P <sub>2</sub>	P <sub>2</sub>	P <sub>12</sub>	~	P	P	P	~	~	~	P	P	P <sub>1</sub>	P <sub>1</sub>	P	~	P	P

Corrections to draft noted in yellow above

“Single-family courtyard” means a development of single-family dwellings generally served by a shared private lane. See WCC 10.47.060 for applicable development standards.



# District Use Chart



Uses	Commercial Districts					Mixed Use Districts			Residential Districts					Overlay Zones					
	CBD	NWBD	SWBD	CN	I	WMU	OMU	RMU	RF	RS	RL	RM	RH	HEO	CSO	MRC	IO	PO	RRO
<b>Residential</b> (Most residential developments are also subject to the Residential Design Guidelines)																			
Single-family dwelling (WCC 10.47.040)	~	P <sub>12</sub> ~	P <sub>12</sub> ~	P <sub>12</sub> ~	~	~	P <sub>11</sub>	P	P	P	P	P	~P	~	~	P	~	~	~
Single-family cluster (WCC 10.47.050)										P	P	P	P						
Single-family courtyard (WCC 10.47.060)										P	P	P	P						
Duplex (WCC 10.47.080)	~	P <sub>12</sub> ~	P <sub>12</sub> ~	P <sub>12</sub>	~	~	P <sub>11</sub>	P	~	P	P~	P	P	~	~	P	~	~	~
One-to-two-unit dwellings	P <sub>1</sub>	P <sub>2</sub>	P <sub>2</sub>	P <sub>2</sub>	~	~	P	P	~	P~	P~	P~	P	P <sub>1</sub>	P <sub>2</sub>	P	~	P <sub>2</sub>	P <sub>1</sub>
Multifamily dwellings (WCC 10.478.120080)	P <sub>12</sub>	P <sub>4</sub>	P <sub>4</sub>	P <sub>12</sub>	~	P	P	P	~	~	~	P~	P	P <sub>1</sub>	P <sub>1</sub>	P	~	P	P
Accessory building, residential	~	~	~	~	~	P	P	P	P	P	P	P	P	~	~	P	~	P	P
Accessory dwelling unit (ADU) (WCC 10.478.0340)	~	~	~	~	~	~	P	P	P	P	P	P	~P	~	~	P	~	~	~
Adult family home	AU	AU	AU	AU	~	AU	P	P	P	P	P	P	P	~	~	P	~	~	~
Bed and breakfast (WCC 10.48.100)	P	~	~	~	~	P	P	P	C	P	P	P	P	P	~	P	~	P	P
Transient rental <sup>5</sup>	P	~	~	~	~	P	P	P	~	~	~	~	~	P	~	P	~	P	P
Family day care (12 or fewer children)																			

## Conditions:

- 13 Subject use is not allowed on the ground level designated pedestrian-oriented streets (per Figure C.1.d in the Residential Development Guidelines).
- 14 Subject use is not allowed on the ground level unless within a building that is placed behind a commercial or mixed-use building.





Uses	Commercial Districts					Mid-District
	CBD	NWBD	SWBD	CN	I	
<b>Residential</b> <i>(Most residential developments are also subject to the following uses)</i>						
Single-family dwelling (WCC 10.47.040)	~	P <sub>12</sub> ~	P <sub>12</sub> ~	P <sub>12</sub> ~	~	~
Single-family cluster (WCC 10.47.050)						
Single-family courtyard (WCC 10.47.060)						
Duplex (WCC 10.47.080)	~	P <sub>12</sub> ~	P <sub>12</sub> ~	P <sub>12</sub>	~	~
One-to-two-unit dwellings	P <sub>1</sub>	P <sub>2</sub>	P <sub>2</sub>	P <sub>1</sub>	~	~
Multifamily dwellings (WCC 10.478.120080)	P <sub>12</sub>	P <sub>1</sub>	P <sub>1</sub>	P <sub>12</sub>	~	P
Accessory building, residential	~	~	~	~	~	P
Accessory dwelling unit (ADU) (WCC 10.478.0340)	~	~	~	~	~	~

AU

P

P



hind a



Uses	Commercial Districts					Mixed Use Districts			Residential Districts					Overlay Zones					
	CBD	NWBD	SWBD	CN	I	WMU	OMU	RMU	RF	RS	RL	RM	RH	HEO	CSO	MRC	IO	PO	RRO
Cottage housing (WCC 10.47.0760)	~	~	~	~	~	~	P	P	~	P	P	P	P	~	~	P	~	~	~
<u>Courtyard housing (WCC 10.47.090)</u>	~	~	~	~	~	~	P	P	~	P <sub>10</sub>	P <sub>10</sub>	P	P	~	~	P	~	P	P
<u>Townhouses (WCC 10.47.100)</u>	~	P <sub>12</sub>	P	P <sub>15</sub>	~	~	P	P	~	P <sub>10</sub>	P <sub>10</sub>	P <sub>10</sub>	P	~	~	P	~	P	P
Group home (six or less)	~	~	~	~	~	~	P	P	C	P	P	P	P	~	~	P	~	~	P
Group home (seven or more)	P <sub>1</sub>	P <sub>1</sub>	P <sub>1</sub>	P <sub>1</sub>	~	C	C	C	C	C	C	C	P	P <sub>1</sub>	P <sub>1</sub>	C	C	C	C
<u>Live-work dwellings (WCC 10.47.110)</u>		P	P	P		P	P	P					P			P			
Home occupation	~	~	~	~	~	~	P	P	C	C	C	P	P	~	~	P	~	~	P
Home occupation, mailing address only (WCC 10.48.140)	~	~	~	~	~	~	P	P	P	P	P	P	P	~	~	P	~	~	P
Farm animals, large and small (WCC 10.48.110)	~	~	~	~	~	~	P	P	P	P	P	P	P	~	~	P	~	~	~
Manufactured home <sup>1</sup> (WCC 10.48.200)	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~
Manufactured home, designated (WCC 10.48.200)	~	~	~	~	~	~	P	P	P	P	P	P	P	~	~	P	~	~	~
<u>Manufactured/mobile home park (as a residential-planned development) (WCC 10.48.200)</u>	~	~	~	~	~	P	P	P	~	P	P	P	P	~	~	P	~	~	~
Mobile home <sup>2</sup> (WCC 10.48.200)	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~
Modular home (WCC 10.48.200)	~	~	~	~	~	~	P	P	P	P	P	P	P	~	~	P	~	~	~
<u>Residential-planned development</u>																			

## Conditions:

- 10 Townhouses and courtyard housing in this zone are limited to no more than 4 attached units facing a public street in one structure.
- 12 Only such uses in existence as of (ADD ADOPTION DATE OF THIS ORDINANCE) are considered a permitted use.
- 13 Subject use is not allowed on the ground level designated pedestrian-oriented streets (per Figure C.1.d in the Residential Development Guidelines).
- 14 Subject use is not allowed on the ground level unless within a building that is placed behind a commercial or mixed-use building.
- 15 Subject use is not allowed unless within a building that is placed behind a commercial or mixed-use building.

Uses	Commercial-Districts					Mixed-Use-Districts			Residential-Districts					Overlay-Zones					
	CBD	NWBD	SWBD	CND	LD	WMU	OMU	RMU	RF	RS	RL	RM	RH	HEO	CSO	MRC	IO	PO	RRO
Cottage-housing- (WCC-10.47.0760)	~	~	~	~	~	~	P	P	~	P	P	P	P	~	~	P	~	~	~
Courtyard-housing- (WCC-10.47.090)	~	~	~	~	~	~	P	P	~	P	P	P	P	~	~	P	~	P	P
Townhouses- (WCC-10.47.100)	~	P	P	P	~	~	P	P	~	P	P	P	P	~	~	P	~	P	P
Group-home- (six or less)	~	~	~	~	~	~	P	P	C	P	P	P	P	~	~	P	~	~	P
Group-home- (seven or more)	P	P	P	P	~	C	C	C	C	C	C	C	P	P	P	C	C		
Live-work-dwellings- (WCC-10.47.110)	x	P	P	P	x	P	P	P	x	x	x	x	P	x	x	P	x		
Home-occupation	~	~	~	~	~	~	P	P	C	C	C	P	P	~	~	P	~		
Home-occupation, - mailing-address-only- (WCC-10.48.140)	~	~	~	~	~	~	P	P	P	P	P	P	P	~	~	P	~		
Farm-animals, large- and-small- (WCC-10.48.110)	~	~	~	~	~	~	P	P	P	P	P	P	P	~	~	P	~		
Manufactured-home <sup>1</sup> - (WCC-10.48.200)	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~		
Manufactured-home, - designated- (WCC-10.48.200)	~	~	~	~	~	~	P	P	P	P	P	P	P	~	~	P	~		

“Live-work dwelling” means a dwelling unit designed to accommodate a small commercial enterprise on the ground floor and a residential unit above and/or behind. See WMC 10.47.110 for applicable standards.





# Applicable Zoning Chapters

10.08 Definitions

10.10 District Use Chart

## **10.46 Development Standards Charts**

10.47 Residential Use Standards (*new*)

10.48 General Development Regulations

10.62 Landscaping and Screening

Misc. Title 10 Code Changes

- 10.11-40 (Districts/Standards)
- Universal changes

# WENATCHEE DEVELOPMENT STANDARDS CHARTS: UPDATED CHAPTER 10.46

Draft July 10, 2019

## NOTES:

- Only those sections/subsections with proposed changes are shown.
- All definitions are new, except for those that are tracked.

## Contents

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10.46.010 Purpose.....	2
10.46.020 Residential development chart.....	2
10.46.030 Mixed use development chart.....	3
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10.46.070 Minimum lot width and depth calculations. <i>(new section)</i> .....	7
10.46.080 Setback measurements and exceptions. <i>(new section)</i> .....	8
10.46.090 Building height calculations, exceptions, and modifications. <i>(new section)</i> .....	15
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#### 10.46.010 Purpose.

A development chart and exceptions define the buildable area within the established districts. ~~Planned developments, c~~Conditional uses and overlay districts may require additional or varying considerations.

#### 10.46.020 Residential development chart.

General Dimensional Standards. See Section 10.46.060-110 for measurement methods and Section 10.47 for more specific standards with respect to specific residence types. Where these standards conflict with Section 10.47, the City shall determine which requirement applies. Note that the column indicating conditions/exceptions/references is not all inclusive. There may be other conditions in WCC.

Standard	RS	RL	RM	RH	RF	Conditions/ Exceptions/ Reference
<b>Minimum Lot Dimensions</b>						
Lot area	7,250sf, except 10,000sf for a duplex	5,500sf, except 8,000sf for a duplex	3,000sf, except 4,500sf for a duplex	3,000sf, except 4,000sf for a duplex	20,000sf	<u>WCC 10.46.060</u>
<u>Cluster subdivision lot</u>	<u>3,600sf</u>	<u>3,000sf</u>	<u>N/A</u>	<u>N/A</u>		<u>WCC 10.47.050</u>
Lot width	70 feet	50 feet	30 feet	30 feet	100 feet	<u>WCC 10.46.070</u>
<u>Lot with alley access</u>	<u>50 feet</u>	<u>30 feet</u>	<u>25 feet</u>	<u>25 feet</u>	<u>100 feet</u>	
<u>Cluster subdivision lot</u>	<u>50 feet</u>	<u>30 feet</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	
Lot depth	100 feet	<del>90</del> feet	<del>80-65</del> feet	<del>670</del> feet	150 feet	<u>WCC 10.46.070</u>
<u>Cluster subdivision lot</u>	<u>80 feet</u>	<u>60 feet</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	



#### 10.46.010 Purpose.

A development chart and exceptions define the buildable area within the established districts. ~~Planned developments, c~~Conditional uses and overlay districts may require additional or varying considerations.

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Standard	RS	RL	RM	RH	RF	Conditions/ Exceptions/ Reference
<b>Minimum Lot Dimensions</b>						
Lot area	7,250sf, except 10,000sf for a duplex	5,500sf, except 8,000sf for a duplex	3,000sf, except 4,500sf for a duplex	3,000sf, except 4,000sf for a duplex	20,000sf	<u>WCC 10.46.060</u>
<u>Cluster subdivision lot</u>	<u>3,600sf</u>	<u>3,000sf</u>	<u>N/A</u>	<u>N/A</u>		<u>WCC 10.47.050</u>
Lot width	70 feet	50 feet	30 feet	30 feet	100 feet	<u>WCC 10.46.070</u>
<u>Lot with alley access</u>	<u>50 feet</u>	<u>30 feet</u>	<u>25 feet</u>	<u>25 feet</u>	<u>100 feet</u>	
<u>Cluster subdivision lot</u>	<u>50 feet</u>	<u>30 feet</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	
Lot depth	100 feet	<u>98</u> feet	<u>80-65</u> feet	<u>67</u> feet	150 feet	<u>WCC 10.46.070</u>
<u>Cluster subdivision lot</u>	<u>80 feet</u>	<u>60 feet</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	

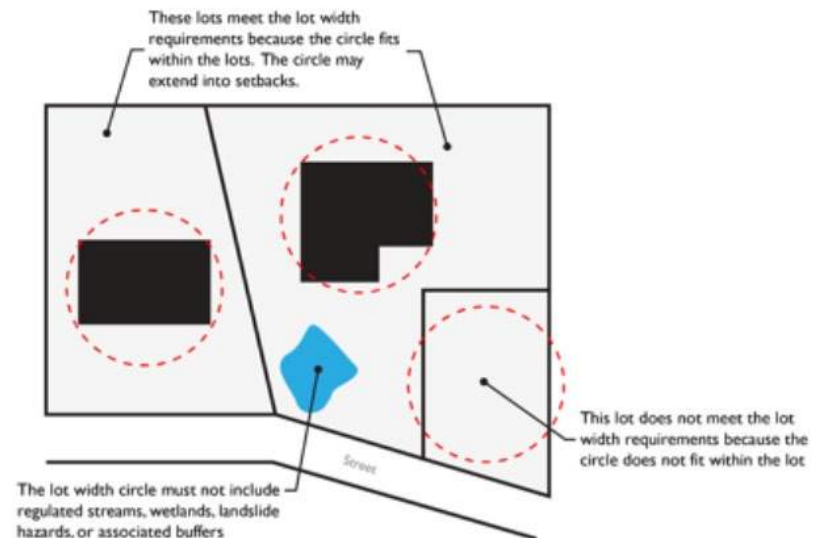
#### 10.46.060 Minimum lot area calculations. *(new section)*

Minimum lot area calculations are based on the total land area contained within the boundary lines of any lot, tract or parcel of land, exclusive of public rights-of-way and private lanes, and may be expressed in square feet (sf) or acres.

#### 10.46.070 Minimum lot width and depth calculations. *(new section)*

- (1) For generally rectangular-shaped lots:
  - (a) Minimum lot width is measured at the building line or at the street lot line.
  - (b) Minimum lot depth is measured between the midpoints of straight lines connecting the two front property corners and the two rear property corners.
- (2) For non-rectangular-shaped lots, the minimum lot-width circle applies to help ensure that there is a minimum buildable area included in each lot created consistent with the intent for each zoning district.
  - (a) The minimum lot width circle establishes that at least some portion of a lot must be at least as wide as the minimum lot width. The lot width circle must not include streams and buffers.
  - (b) The following lots are exempt from minimum lot width requirements for single-family detached and townhouse developments, where in subdivision.

Figure 10.46.070  
Minimum lot width circle.



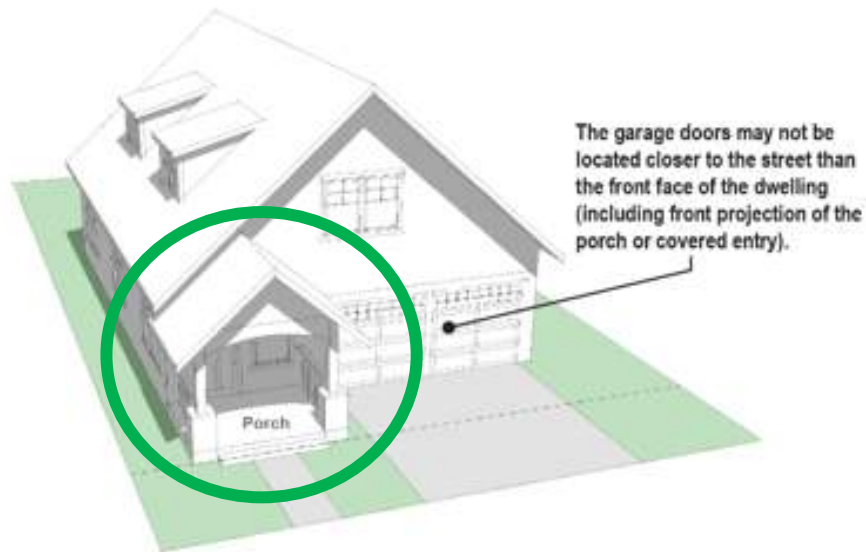
Standard	RS	RL	RM	RH	RF	Conditions/ Exceptions/ Reference
<b>Setback Standards</b> (WCC 10.46.080)						
<u>Front Street - minimum</u>	20 feet <del>(x)(y)</del> <u>from the front property line plus any required additional ROW</u>	20 feet <del>(x)(y)</del> <u>from the front property line plus any required additional ROW</u>	15 feet <del>from the front property line plus any required additional ROW</del>	10 feet <del>from the front property line plus any required additional ROW</del>	25 feet <del>from the front property line</del>	<u>WCC 10.46.080(2)</u> (x) 15 feet from private lanes (y) 15 feet for cluster subdivisions <u>See also exception for unenclosed front porches in 10.46.080.1.</u>
<u>Street - minimum, individual garage, carport</u>	<u>Must be setback at least 20-feet and meet the special setback provisions set forth in WCC 10.46.080(2)(b).</u>					
<u>Front Street - maximum</u>	N/A	N/A	N/A	N/A	300 feet	<u>WCC 10.46.080(2)</u>
<u>Rear - minimum</u>	<del>20 feet from the rear property line</del>	<del>20 feet from the rear property line</del>	<del>15 feet from the rear property line</del>	<del>10 feet from the rear property line</del>	<del>45 feet from the rear property line</del>	<u>WCC 10.46.080(3)</u> (x) 10 feet if adjacent to an alley. (y) 15 feet for ground-related dwelling units
<u>Side - minimum</u>	<del>5 feet from the side property line</del>	<del>5 feet from the side property line</del>	<del>5 feet from the side property line</del>	<del>6 feet from the side property line</del>	<del>10 feet from the side property line</del>	<u>WCC 10.46.080(4)</u>
<u>Internal - minimum</u>	<del>12 feet</del> N/A	<del>12 feet</del> N/A	<del>12 feet</del> N/A	12 feet	N/A	<u>WCC 10.46.080(5)</u>



**Figure 10.46.080(2)(b)**

**Street setback standards for individual/private garages (all applicable housing types).**

Up to 8'  
projection into  
street setback



The examples above comply as the garage doors are not placed in front of the dwelling (including the covered porch projection).



The examples above do not comply. The spaces above the garage don't qualify as "dwelling" space for the purposes of this standard (left example has no window and the right example would have a deficient ceiling height, if it were a part of the second floor of the unit).

Standard	RS	RL	RM	RH	RF	Conditions/ Exceptions/ Reference
<b>Setback Standards</b> (WCC 10.46.080)						
<del>Front-Street</del> - minimum	20 feet <sup>(X)(Y)</sup> <del>from the front property line plus any required additional ROW</del>	20 feet <sup>(X)(Y)</sup> <del>from the front property line plus any required additional ROW</del>	15 feet <del> from the front property line plus any required additional ROW</del>	10 feet <del>from the front property line plus any required additional ROW</del>	25 feet <del>from the front property line</del>	<u>WCC 10.46.080(2)</u>  (X) 15 feet from private lanes (Y) 15 feet for cluster subdivisions  <del>See also exception for unenclosed front porches in 10.46.080.1.</del>
<del>Street - minimum, individual garage, carport</del>	<del>Must be setback at least 20-feet and meet the special setback provisions set forth in WCC 10.46.080(2)(b).</del>					
<del>Front-Street</del> - maximum	N/A	N/A	N/A	N/A	300 feet	<u>WCC 10.46.080(2)</u>
Rear - minimum	20 feet <del> from the rear property line</del>	20 feet <del> from the rear property line</del>	15 feet <sup>(X)</sup> <del> from the rear property line</del>	10 feet <sup>(Y)</sup> <del>from the rear property line</del>	45 feet <del> from the rear property line</del>	<u>WCC 10.46.080(3)</u>  (X) 10 feet if adjacent to an alley. (Y) 15 feet for ground- related dwelling units
Side - minimum	5 feet <del> from the side property line</del>	5 feet <del> from the side property line</del>	5 feet <del> from the side property line</del>	6 feet <del> from the side property line</del>	10 feet <del> from the side property line</del>	<u>WCC 10.46.080(4)</u>
Internal - minimum	<del>12 feet</del> N/A	<del>12 feet</del> N/A	<del>12 feet</del> N/A	12 feet	N/A	<u>WCC 10.46.080(5)</u>

Standard	RS	RL	RM	RH	RF	Conditions/ Exceptions/ Reference
<b>Building &amp; Density Standards</b>						
Maximum building height	30 feet <sup>±</sup> (see WCC 10.46.090 step-back requirements)	30 feet (see WCC 10.46.090 step-back requirements)	350 feet	4 stories above-grade and 60 feet	30 feet	<u>WCC 10.46.090</u>
Maximum lot coverage	40%	45%	55%	55%	20%	<u>WCC 10.46.100</u>
<u>Duplexes, townhouses &amp; multifamily</u>	<u>50%</u>	<u>55%</u>	<u>55%</u>	<u>55%</u>	<u>N/A</u>	<sup>(x)</sup> <u>WCC 10.46.100 (2)(a)</u>
Cluster lots	<u>55%</u> 50	55%	N/A	N/A	N/A	
<u>Maximum density</u> <u>Maximum Primary Units</u>	<u>6 dwelling units per acre</u> <u>1 dwelling unit per lot</u>	<u>8 dwelling units per acre</u> <u>1 dwelling unit per lot</u>	<u>20 dwelling units per acre</u> <u>2 dwelling units per lot</u>	<u>40 dwelling units per acre</u> <u>25 dwelling units per acre</u>	1 dwelling unit per lot	<u>WCC 10.46.110</u>



#### 10.46.090 Building height calculations, exceptions, and modifications. (new section)

##### (1) Building height calculations:

- (a) Building height, except where otherwise noted, is measured to the highest point of a flat roof or the mean height between the eaves and ridge of a pitched roof from the average elevation of the proposed finished grade adjacent, within two feet, to the building foundation.

##### **(b) ALTERNATIVE OPTIONS FOR (b) ASSOCIATED WITH MEASURING HEIGHT ON SLOPING PROPERTIES.**

- (b-alt 1) If the existing grade of the proposed building footprint exceeds 15-percent slope, the maximum height will be measured from every point from existing grade. The site may be graded to prepare a building site prior to measuring the existing grade but fill may not be added to raise the overall grade of the site.
- (b-alt 2) On sites that sloped upward from the street, the street facades must not exceed the maximum height of the zone, except for parapets as set forth in subsection (5)(b)(ii). Upper-level building stepbacks at least ten feet deep may be utilized on sloped sites to achieve the maximum possible building height based on the calculations set forth in subsection (1) above.
- (b-alt 3) If the existing grade of the proposed building footprint exceeds 15-percent slope, then the building must be configured to go down in height as between the higher and lower facades in a manner similar to Figure 10.46.090 or in an equivalent manner such that the average of the building heights calculated between the facades is approximately equal to or less than the maximum permitted building height.



Sloping site example:  
Mission Street

#### 10.46.090 Building height calculations, exceptions, and modifications. *(new section)*

##### (1) Building height calculations:

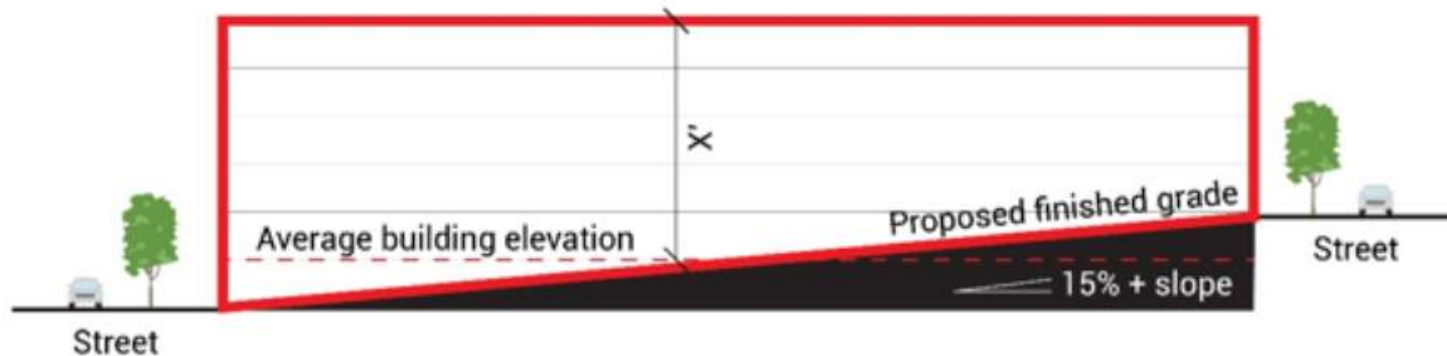
- (a) Building height, except where otherwise noted, is measured to the highest point of a flat roof or the mean height between the eaves and ridge of a pitched roof from the average elevation of the proposed finished grade adjacent, within two feet, to the building foundation.

**Figure 10.46.090**

**Acceptable and unacceptable building height designs on sloping sites.**

#### **Height Measurement - Existing Code Approach**

X = Maximum height  
of zoning district



**(b) ALTERNATIVE OPTIONS FOR (b) ASSOCIATED WITH MEASURING HEIGHT ON SLOPING PROPERTIES.**

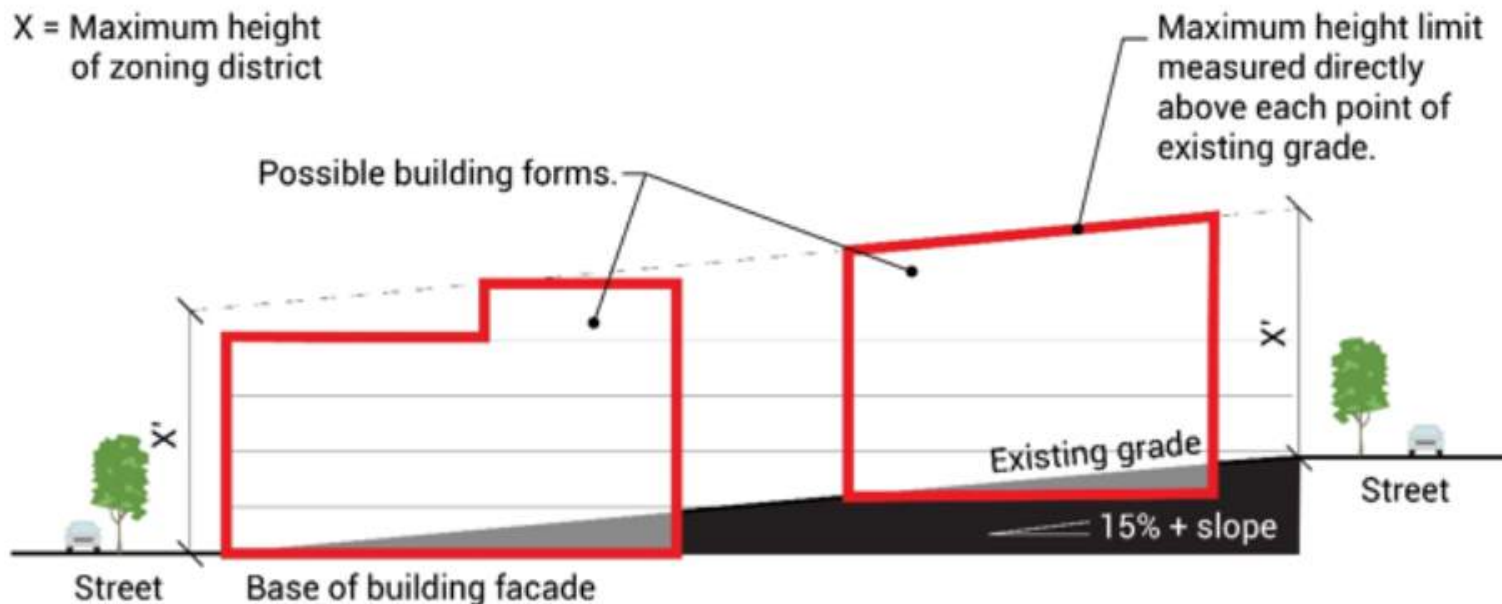
- (b-alt 1) If the existing grade of the proposed building footprint exceeds 15-percent slope, the maximum height will be measured from every point from existing grade. The site may be graded to prepare a building site prior to measuring the existing grade but fill may not be added to raise the overall grade of the site.

**Figure 10.46.090**

**Acceptable and unacceptable building height designs on sloping sites.**

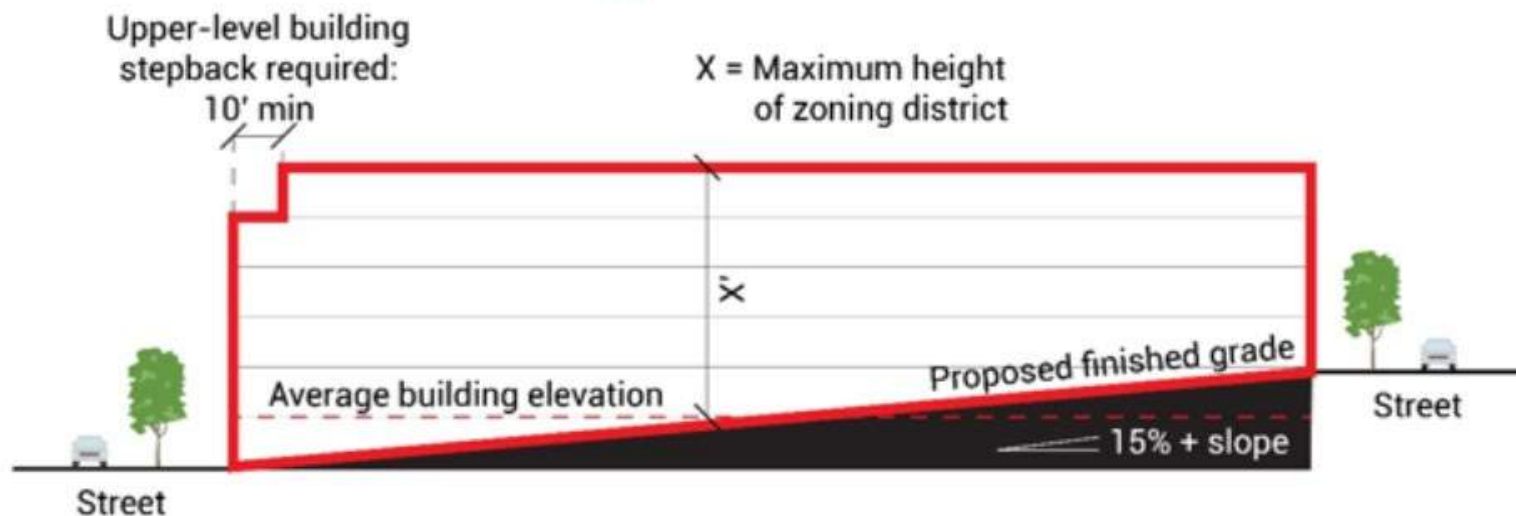
**Height Measurement - Alternative I**

X = Maximum height  
of zoning district



- (b-alt 2) On sites that sloped upward from the street, the street facades must not exceed the maximum height of the zone, except for parapets as set forth in subsection (5)(b)(ii). Upper-level building stepbacks at least ten feet deep may be utilized on sloped sites to achieve the maximum possible building height based on the calculations set forth in subsection (1) above.

### Height Measurement - Alternative 2

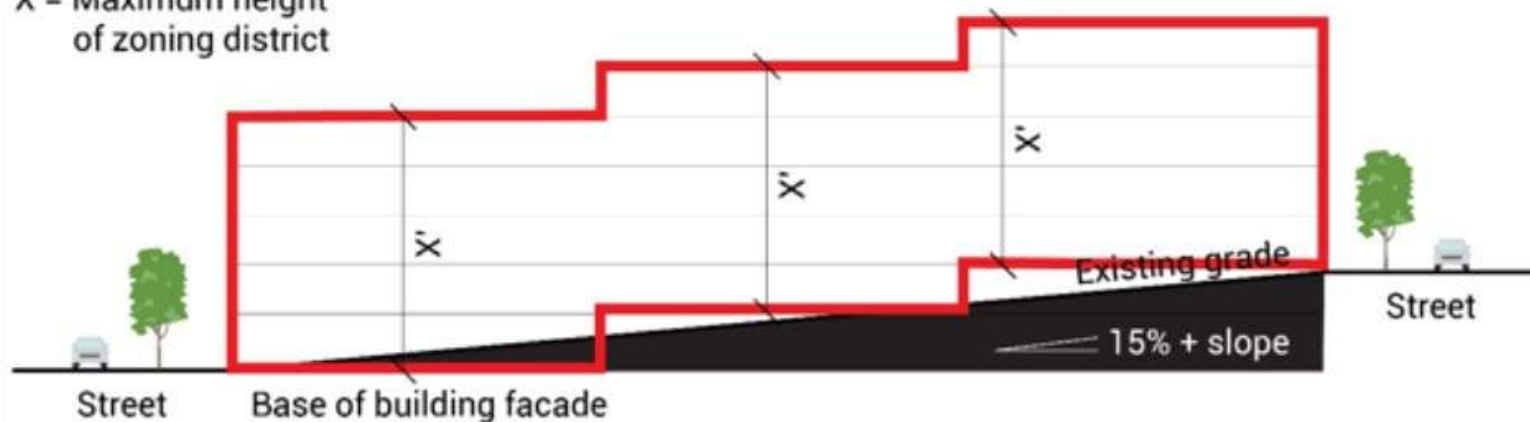




- (b-alt 3) If the existing grade of the proposed building footprint exceeds 15-percent slope, then the building must be configured to go down in height as between the higher and lower facades in a manner similar to Figure 10.46.090 or in an equivalent manner such that the average of the building heights calculated between the facades is approximately equal to or less than the maximum permitted building height.

### Height Measurement - Alternative 3

X = Maximum height  
of zoning district



Standard	RS	RL	RM	RH	RF	Conditions/ Exceptions/ Reference
<b>Building &amp; Density Standards</b>						
Maximum building height	30 feet <sup>±</sup> (see WCC 10.46.090 step-back requirements)	30 feet (see WCC 10.46.090 step-back requirements)	35 feet	4 stories above-grade and 60 feet	30 feet	<a href="#">WCC 10.46.090</a>
Maximum lot coverage	40%	45%	55%	55%	20%	<a href="#">WCC 10.46.100</a>
<u>Duplexes, townhouses &amp; multifamily</u>	<u>50%</u>	<u>55%</u>	<u>55%</u>	<u>55%</u>	<u>N/A</u>	<sup>(x)</sup> <a href="#">WCC 10.46.100 (2)(a)</a>
Cluster lots	<u>55%</u> 50	55%	N/A	N/A	N/A	
<del>Maximum density</del>	<del>6 dwelling units per acre</del>	<del>8 dwelling units per acre</del>	<del>20 dwelling units per acre</del>	<del>40 dwelling units per acre</del>	<del>1 dwelling unit per lot</del>	<del><a href="#">WCC 10.46.110</a></del>
<del>Maximum Primary Units</del>	<del>units per acre</del> <del>1 dwelling unit per lot</del>	<del>units per acre</del> <del>1 dwelling unit per lot</del>	<del>units per acre</del> <del>2 dwelling units per lot</del>	<del>units per acre</del> <del>25 dwelling units per acre</del>	<del>per lot</del>	

Standard	RS	RL	RM	RH	RF	Conditions/ Exceptions/ Reference
<b>Building &amp; Density Standards</b>						
Maximum building height	30 feet <del>±</del> (see WCC 10.46.090 step-back requirements)	30 feet (see WCC 10.46.090 step-back requirements)	3 <del>50</del> feet	4 stories above-grade and 60 feet	30 feet	<u>WCC 10.46.090</u>
Maximum lot coverage	40%	45%	55%	55%	20%	<u>WCC 10.46.100</u>
<u>Duplexes, townhouses &amp; multifamily</u>	<u>50%</u>	<u>55%</u>	<u>55%</u>	<u>55%</u>	<u>N/A</u>	<sup>(x)</sup> <u>WCC 10.46.100 (2)(a)</u>
Cluster lots	<u>55%</u> <del>50</del>	55%	N/A	N/A	N/A	
<u>Maximum density</u> <u>Maximum Primary Units</u>	<u>6 dwelling units per acre</u> <u>1 dwelling unit per lot</u>	<u>8 dwelling units per acre</u> <u>1 dwelling unit per lot</u>	<u>20 dwelling units per acre</u> <u>2 dwelling units per lot</u>	<u>40 dwelling units per acre</u> <u>25 dwelling units per acre</u>	1 dwelling unit per lot	<u>WCC 10.46.110</u>

Standard	RS	RL	RM	RH	RF	Conditions/ Exceptions/ Reference
----------	----	----	----	----	----	---

### Building & Density Standards

Maximum building height	30 feet <sup>±</sup> (see WCC 10.46.090 step-back requirements)	30 feet <sup>±</sup>
Maximum lot coverage	40%	40%
<u>Duplexes, townhouses &amp; multifamily</u>	<u>50%</u>	
Cluster lots	<u>55%</u> 50	
<u>Maximum density</u> <u>Maximum Primary Units</u>	<u>6 dwelling</u> <u>units per acre</u> <u>± dwelling unit</u> <u>per lot</u>	<u>8</u> <u>un</u> <u>± 6</u>

### 5.9 dwelling units per acre (gross)

Relatively new single family subdivision within the master planned Snoqualmie Ridge development (Snoqualmie, WA). Note the second row of homes at the top and bottom of image accessed by private lanes.



Notable features: Traditional streetscape with sidewalk, street trees, shallow front setbacks and front porches. The courtyard access lots behind the street fronting homes add density, but its density that's largely screened from the street.



# RL – 8du/acre

## 9.3 dwelling units per acre (gross)

Relatively new mixed-housing type subdivision within the master planned Issaquah Highlands development (Issaquah, WA)



Notable features: Traditional streetscapes, a combination of front and alley-loaded dwellings and strategically located common open space. The numbers refer to duplexes (2) and triplexes (3). The remaining structures are single family homes.

Standard	RS
<b>Building &amp; Density Standards</b>	
Maximum building height	30 feet <sup>±</sup> (see WCC 10.46.090 step-back requirements)
Maximum lot coverage	40%
<u>Duplexes, townhouses &amp; multifamily</u>	<u>50%</u>
Cluster lots	<u>55%<sup>50</sup></u>

<u>Maximum density</u> <u>Maximum Primary Units</u>	<u>6 dwelling units per acre</u> <u>1 dwelling unit per lot</u>	<u>8 dwelling units per acre</u> <u>1 dwelling unit per lot</u>	<u>20 dwelling units per acre</u> <u>2 dwelling units per lot</u>	<u>40 dwelling units per acre</u> <u>25 dwelling units per acre</u>	1 dwelling unit per lot	<u>WCC 10.46.110</u>
--	--	--	--	--	-------------------------	----------------------

# RM- 20du/acre

**18 dwelling units per acre (net)**  
New apartment community in Renton, WA



Notable features: A combination of surface and private garage parking and generous open space and recreational features (including children's play area, sports court, resident vegetable garden, trails, common recreational building, and a protected natural area).

Standard	RS	
Building & Density Standards		
Maximum building height	30 feet <sup>±</sup> (see WCC 10.46.090 step-back requirements)	30 feet <sup>±</sup> (see WCC 10.46.090 step-back requirements)
Maximum lot coverage	40%	40%
<u>Duplexes, townhouses &amp; multifamily</u>	<u>50%</u>	<u>50%</u>
Cluster lots	<u>55%</u> <sup>50</sup>	<u>55%</u> <sup>50</sup>
<u>Maximum density</u> Maximum Primary Units	<u>6 dwelling units per acre</u> <u>1 dwelling unit per lot</u>	<u>8 dwelling units per acre</u> <u>1 dwelling unit per lot</u>

<u>Maximum density</u>	<u>6 dwelling units per acre</u>	<u>8 dwelling units per acre</u>	<u>20 dwelling units per acre</u>	<u>40 dwelling units per acre</u>	1 dwelling unit per lot	<u>WCC 10.46.110</u>
<u>Maximum Primary Units</u>	<u>1 dwelling unit per lot</u>	<u>1 dwelling unit per lot</u>	<u>2 dwelling units per lot</u>	<u>25 dwelling units per acre</u>		



# RH-

## 40du/acre

34 dwelling units per acre (net)  
Lionsgate Townhouses in Redmond, WA



Notable features: Urban street-oriented townhouse development integrating corner retail spaces, live-work spaces, internal auto-courts with private garages, and common open space.

Standard	RS	
<b>Building &amp; Density Standards</b>		
Maximum building height	30 feet <sup>±</sup> (see WCC 10.46.090 step-back requirements)	30 (see 10.4 step requir
Maximum lot coverage	40%	4
<u>Duplexes, townhouses &amp; multifamily</u>	<u>50%</u>	<u>5</u>
Cluster lots	<u>55%50</u>	5

<u>Maximum density</u> <u>Maximum Primary Units</u>	<u>6 dwelling units per acre</u> <u>1 dwelling unit per lot</u>	<u>8 dwelling units per acre</u> <u>1 dwelling unit per lot</u>	<u>20 dwelling units per acre</u> <u>2 dwelling units per lot</u>	<u>40 dwelling units per acre</u> <u>25 dwelling units per acre</u>	1 dwelling unit per lot	<u>WCC 10.46.110</u>
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# Key Changes by Zoning District

See Handouts

verlay  
ment Overlay

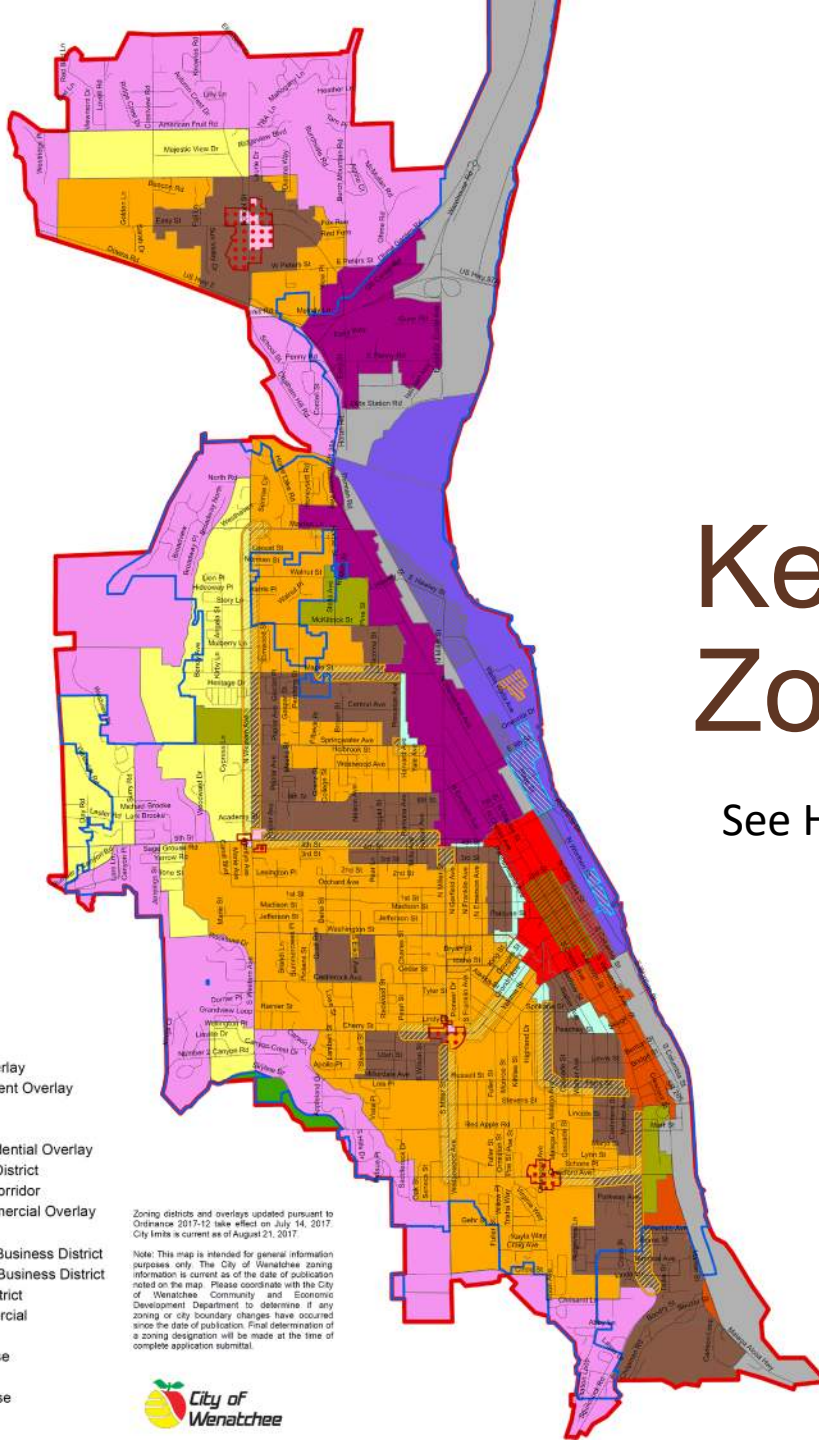
y  
idential Overlay  
: District  
Corridor  
mercial Overlay

» Business District  
» Business District  
istrict  
mercial

Use  
Use

Zoning districts and overlays updated pursuant to Ordinance 2017-12 take effect on July 14, 2017. City limits are current as of August 21, 2017.

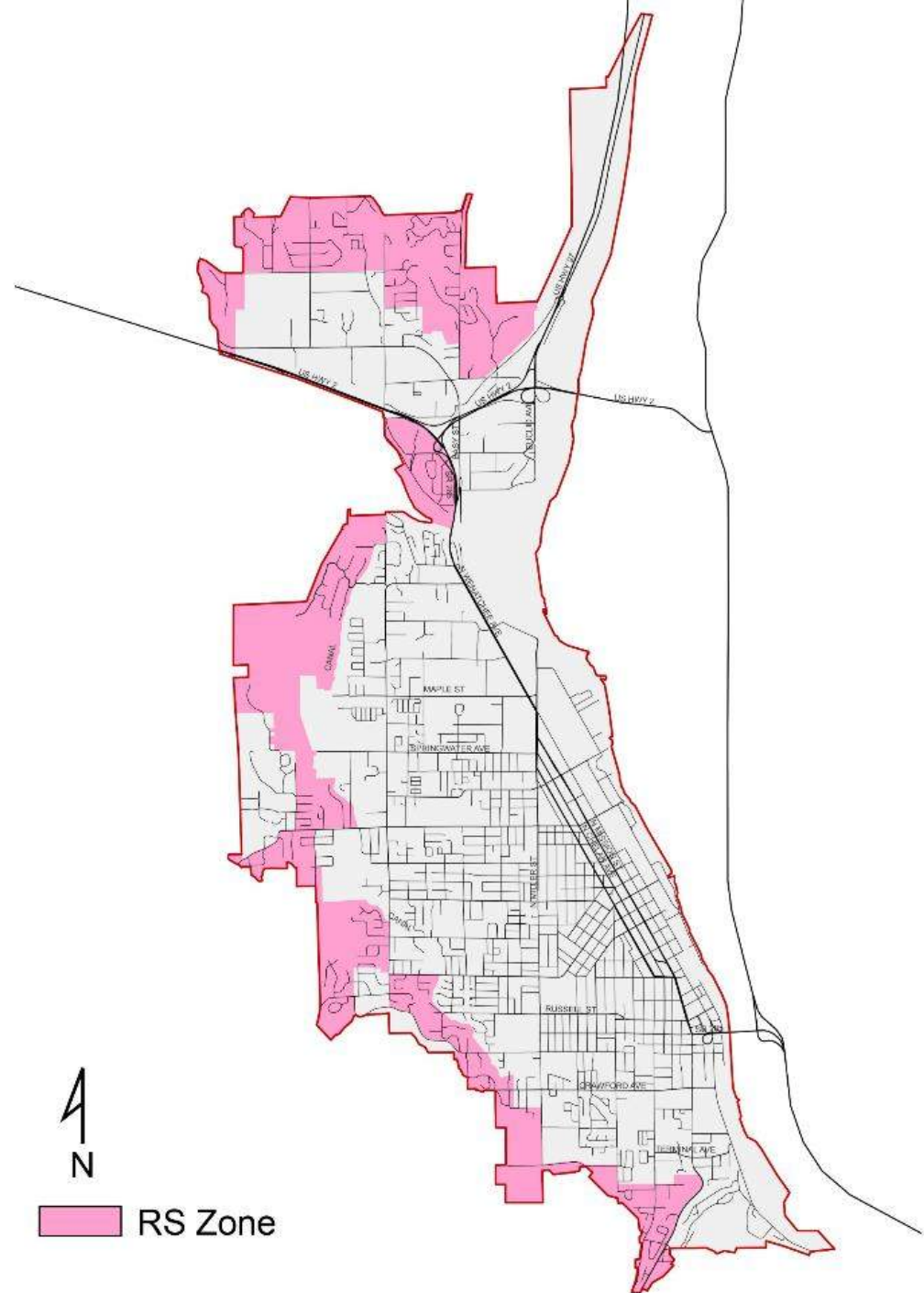
Note: This map is intended for general information purposes only. The City of Wenatchee zoning information is current as of the date of publication noted on the map. Please coordinate with the City of Wenatchee Community and Economic Development Department to determine if any zoning or city boundary changes have occurred since the date of publication. Final determination of a zoning designation will be made at the time of complete application submittal.





# RS

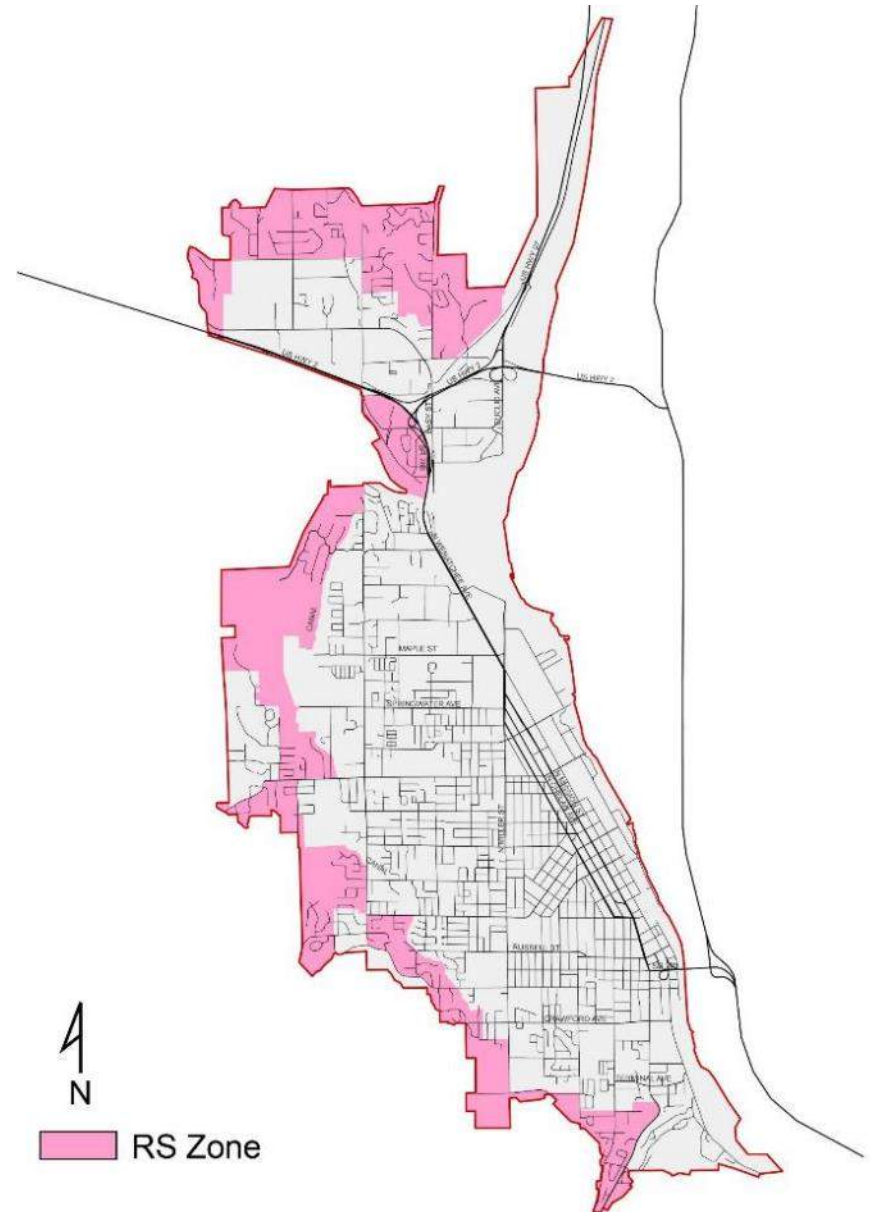
## RESIDENTIAL SINGLE FAMILY



# Zone: RESIDENTIAL SINGLE FAMILY - RS

## INTENT







- Add flexibility to account for difficult site conditions and creative site development (cottages, etc.)
- Maintain small scale



# Zone: RESIDENTIAL SINGLE FAMILY - RS

## KEY PROPOSED CHANGES

- Reduce minimum lot size
- Allow porches into front setback
- Reduce driveway width at curb
- Allow duplexes, 3 and 4-plexes and townhouses that comply with standards

HOUSING TYPE	ALLOWED		Legend:
	CURRENT	PROPOSED	
 Single Family	●	●	● Permitted
 Accessory Dwelling Unit (ADU)	●	●	○ Permitted in Limited Extent
 Cottage Housing	●	●	
 Duplex		○	○ No Symbol: Not Allowed
 Townhouse		○ Up to 4 attached units	
 Apartment (Multifamily)			

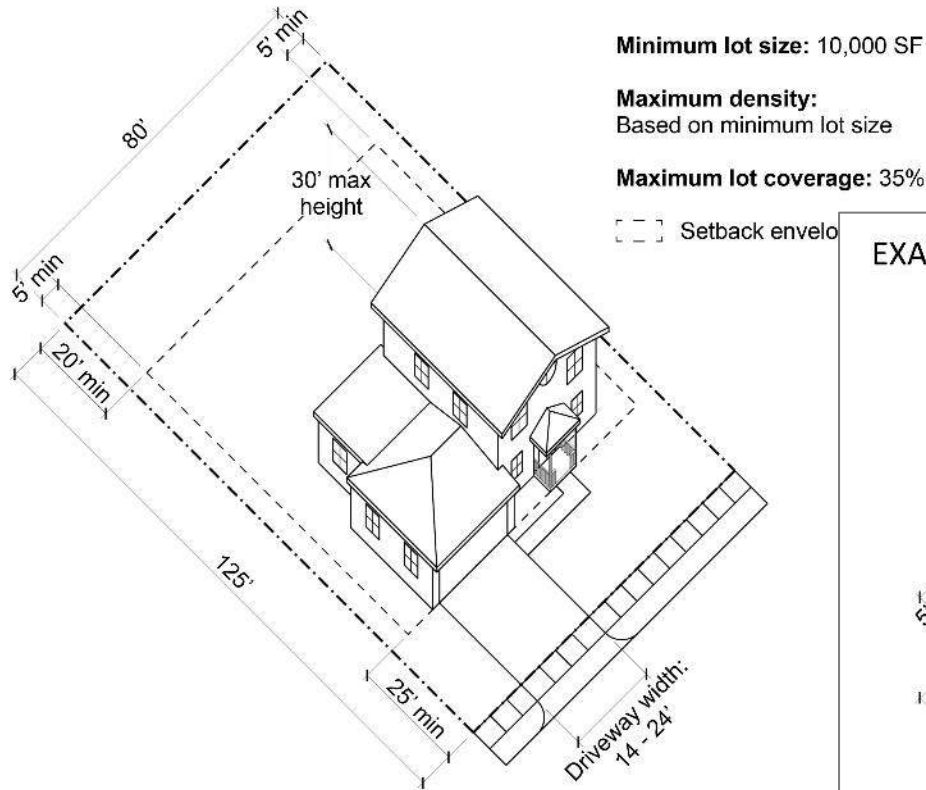


# Zone: RESIDENTIAL SINGLE FAMILY - RS

## RESULTING FORM

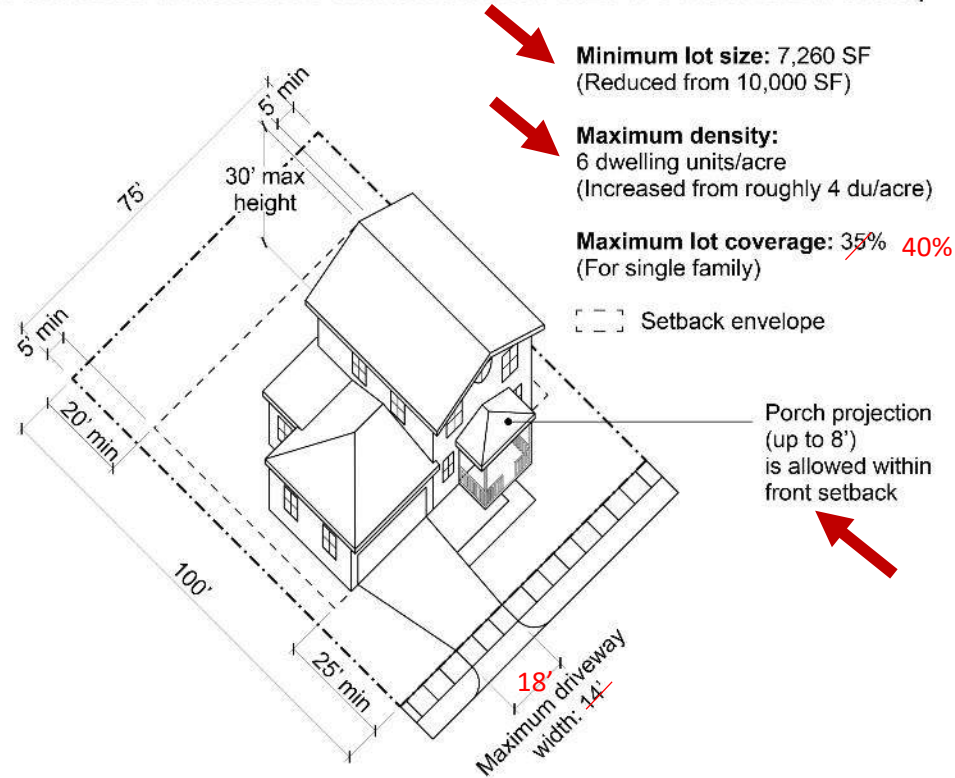
### Existing Code

#### EXAMPLE LOT/HOUSE AT MINIMUM LOT SIZE



### Proposed Code

#### EXAMPLE LOT/HOUSE AT MINIMUM LOT SIZE (FOR SINGLE FAMILY)





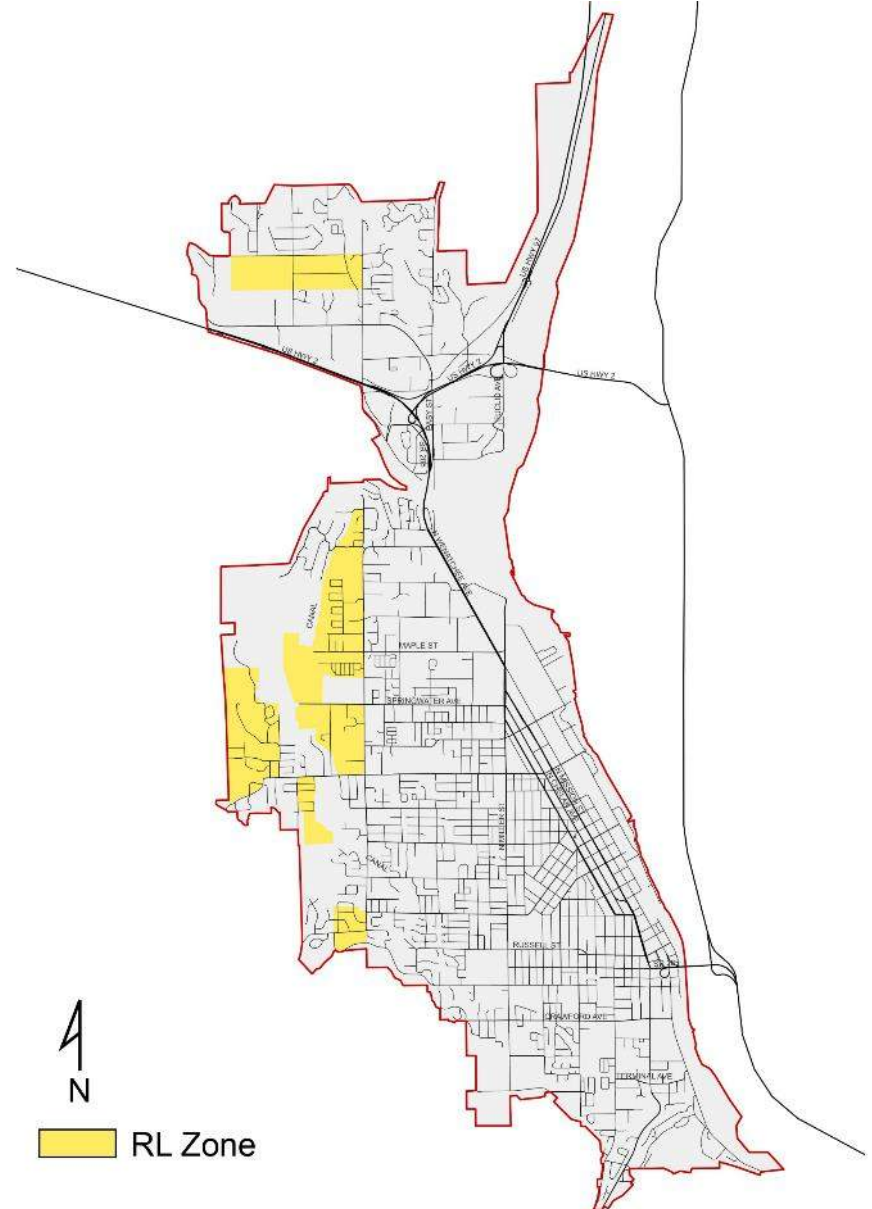
# RESIDENTIAL LOW



# Zone: RESIDENTIAL LOW - RL

## INTENT

- Add flexibility for greater range of housing types
- Maintain small scale









# Zone: RESIDENTIAL LOW - RL

## KEY PROPOSED CHANGES

- Reduced minimum lot size
- Reduced minimum front yard setback
- Driveway width reduced at sidewalk
- Duplexes, triplexes, 4-plexes, townhouses and bungalow courts allowed in certain cases



HOUSING TYPE	ALLOWED		Legend:
	CURRENT	PROPOSED	
 Single Family	●	●	● Permitted
 Accessory Dwelling Unit (ADU)	●	●	○ Permitted in Limited Extent
 Cottage Housing	●	●	
 Duplex		○	○ No Symbol: Not Allowed
 Townhouse		○	○ Up to 6 attached units
 Apartment (Multifamily)			



# Zone: RESIDENTIAL LOW - RL

## RESULTING FORM

### Existing Code

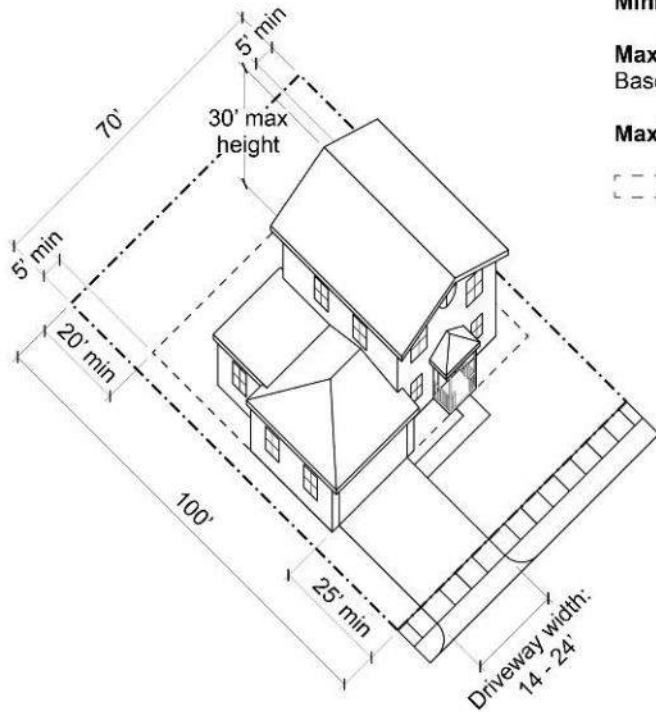
#### EXAMPLE LOT/HOUSE AT MINIMUM LOT SIZE

**Minimum lot size:** 7,000 SF

**Maximum density:**  
Based on minimum lot size


**Maximum lot coverage:** 35%


 Setback env





### Proposed Code

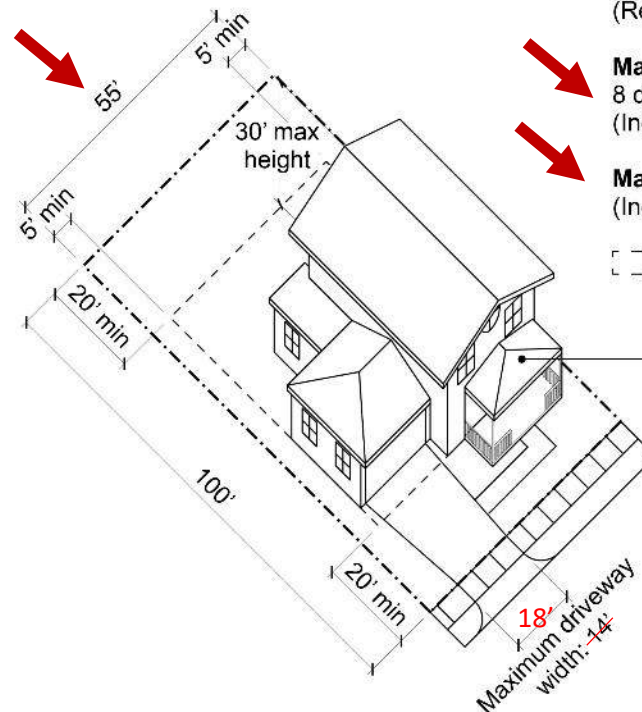
#### EXAMPLE LOT/HOUSE AT MINIMUM LOT SIZE (FOR SINGLE FAMILY)

 **Minimum lot size:** 5,000 SF  
(Reduced from 7,000 SF)

 **Maximum density:**  
8 dwelling units/acre  
(Increased from roughly 6 du/acre)

 **Maximum lot coverage:** 45%  
(Increased from 35%)

 Setback envelope

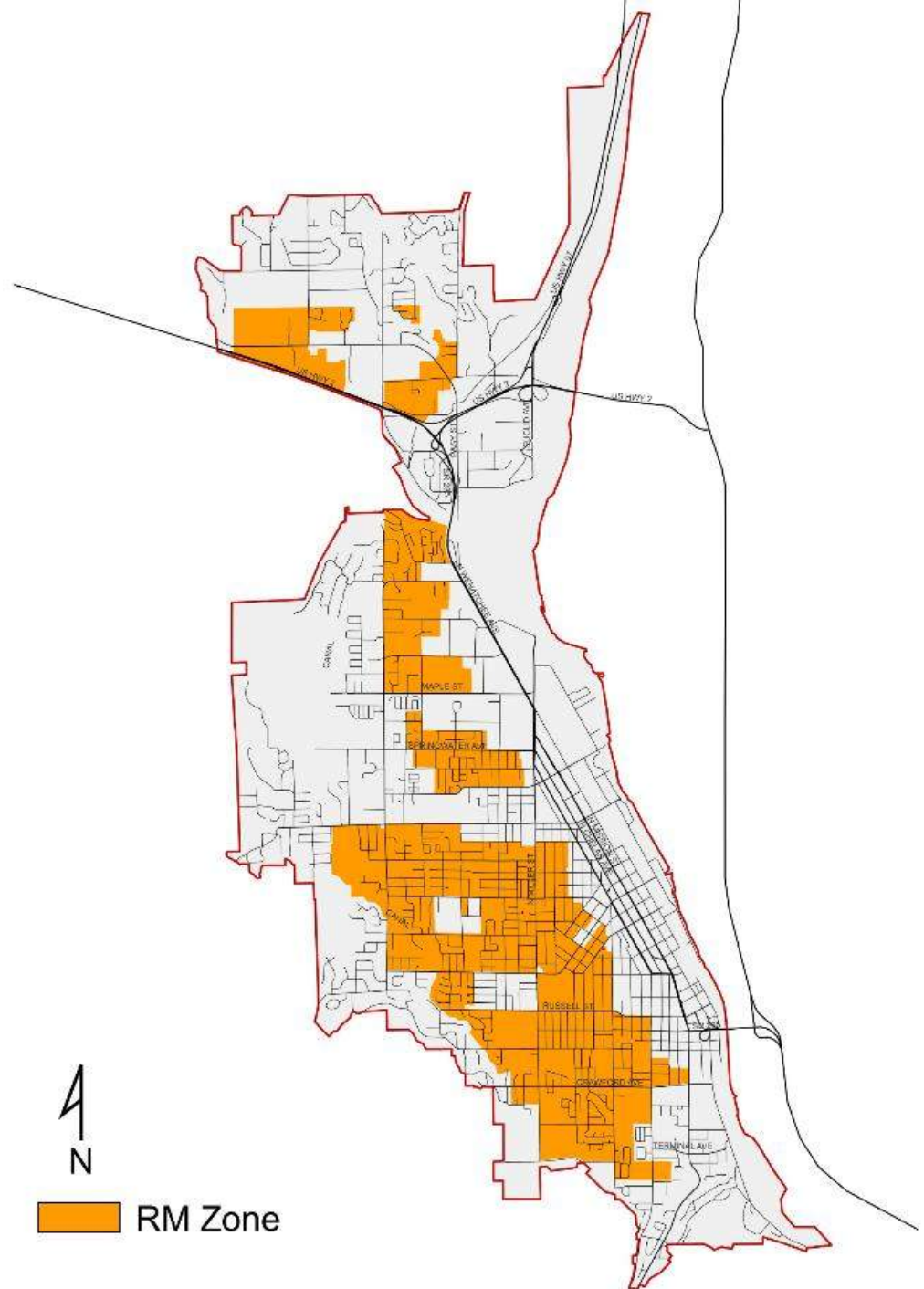


Porch projection  
(up to 8')  
is allowed within  
front setback



# RM

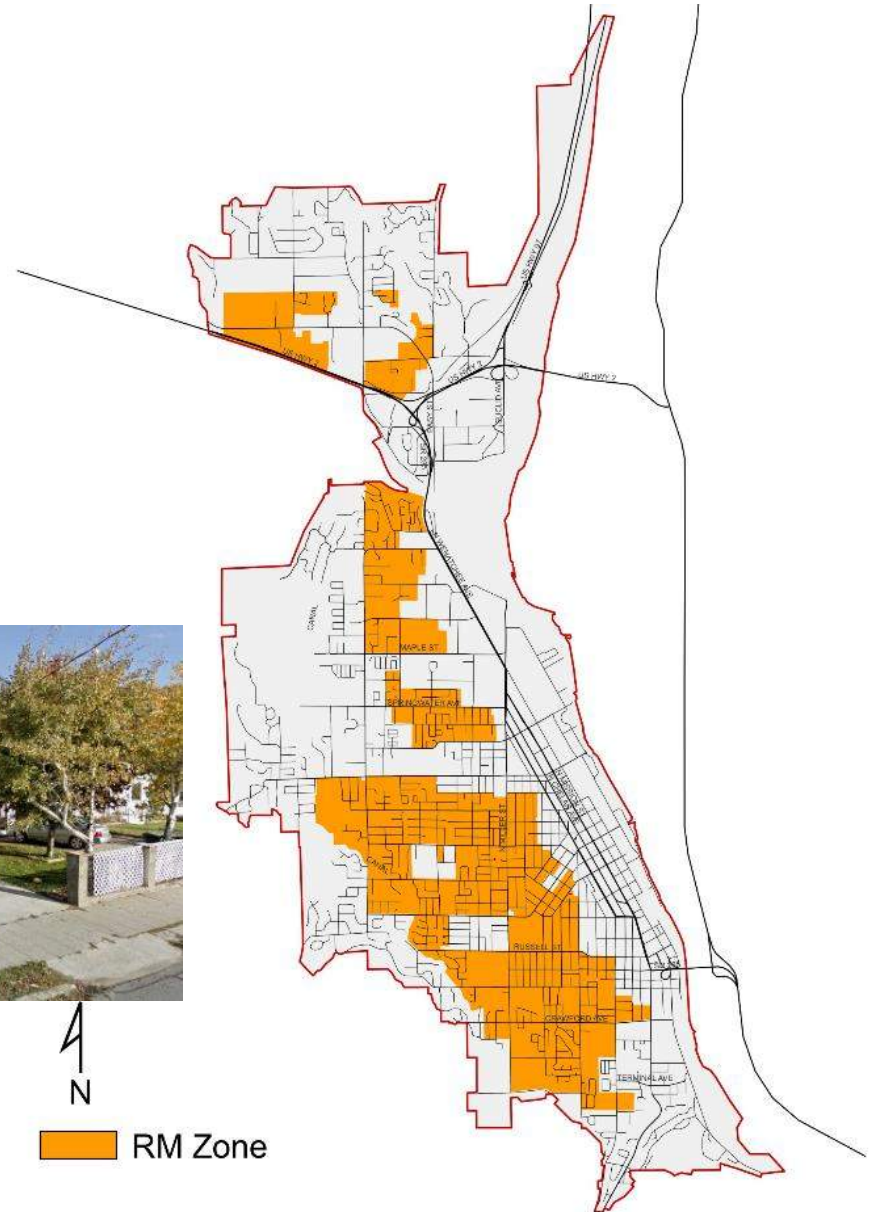
## RESIDENTIAL MODERATE



# Zone: RESIDENTIAL MODERATE - RM

## INTENT

- To encourage quality infill that enhances Wenatchee's traditional neighborhoods.
- To increase housing options with different housing types – especially townhomes, cottage housing, bungalow courts, etc.







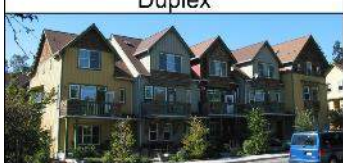
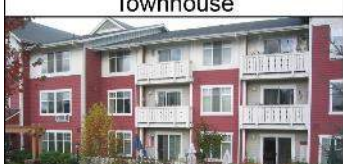


# Zone: RESIDENTIAL MODERATE - RM

## KEY PROPOSED CHANGES

- Reduced minimum lot size
- Reduced minimum front yard setback
- Increased allowable densities
- Duplexes, 3 & 4-plexes, townhouses and bungalow courts allowed



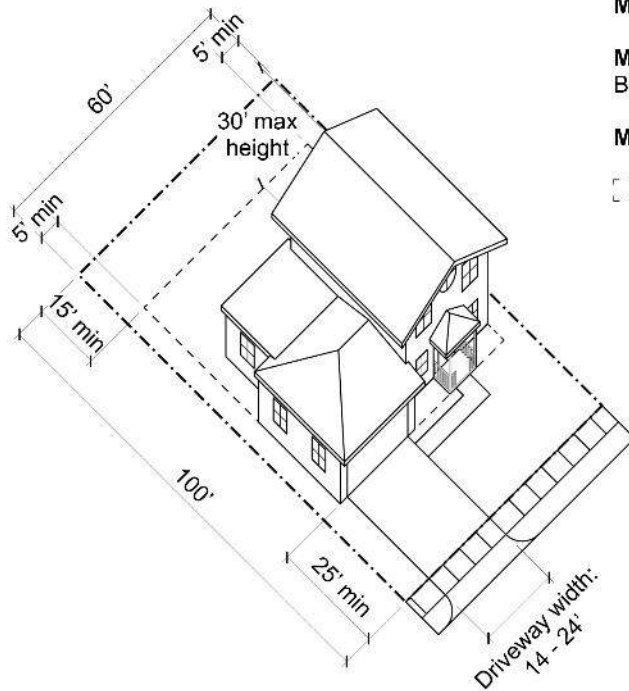
HOUSING TYPE	ALLOWED		Legend:
	CURRENT	PROPOSED	
 Single Family	●	●	● Permitted
 Accessory Dwelling Unit (ADU)	●	●	○ Permitted in Limited Extent
 Cottage Housing	●	●	
 Duplex		●	● No Symbol: Not Allowed
 Townhouse		●	
 Apartment (Multifamily)		○	

# Zone: RESIDENTIAL MODERATE - RM

## RESULTING FORM

### Existing Code

#### EXAMPLE LOT/HOUSE AT MINIMUM LOT SIZE



**Minimum lot size:** 6,000 SF

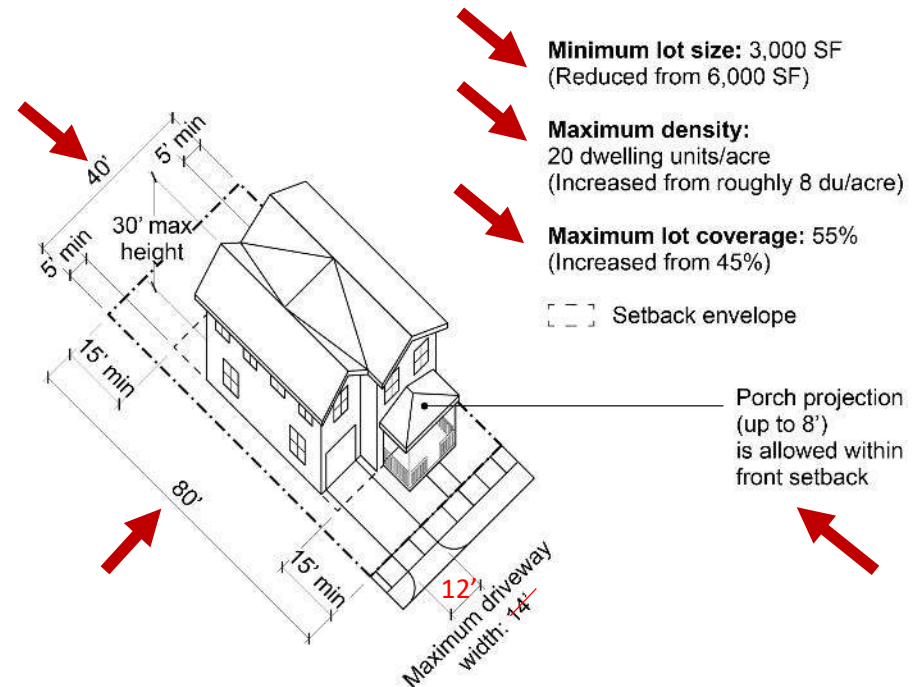
**Maximum density:**  
Based on minimum lot size

**Maximum lot coverage:** 45%

Setback envelope

### Proposed Code

#### EXAMPLE LOT/HOUSE NEAR MINIMUM LOT SIZE





# Zone: RESIDENTIAL MODERATE - RM





# Zone: RESIDENTIAL MODERATE - RM



RH

# RESIDENTIAL HIGH

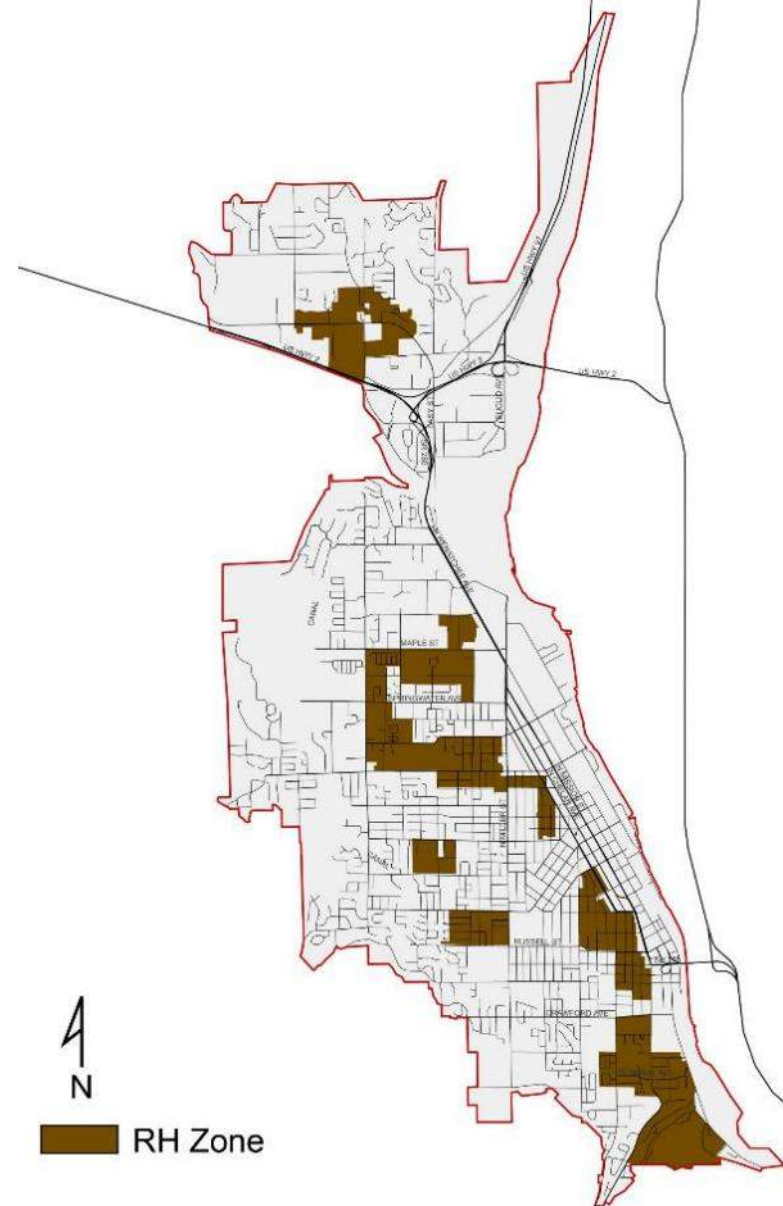




# Zone: RESIDENTIAL HIGH- RH

## INTENT

- To encourage quality infill that upgrades the areas near community resources.
- To improve the pedestrian quality of these areas.






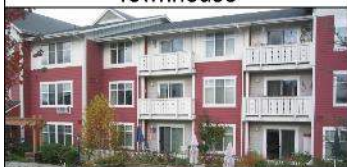




# Zone: RESIDENTIAL HIGH- RH

## KEY PROPOSED CHANGES

- Reduced minimum lot size
- Reduced minimum front yard setback
- Increased allowable densities
- **NO CHANGE** to parking requirements except only 1 space required for studios and 1 BR units.
- **NO CHANGE** to 60' maximum height

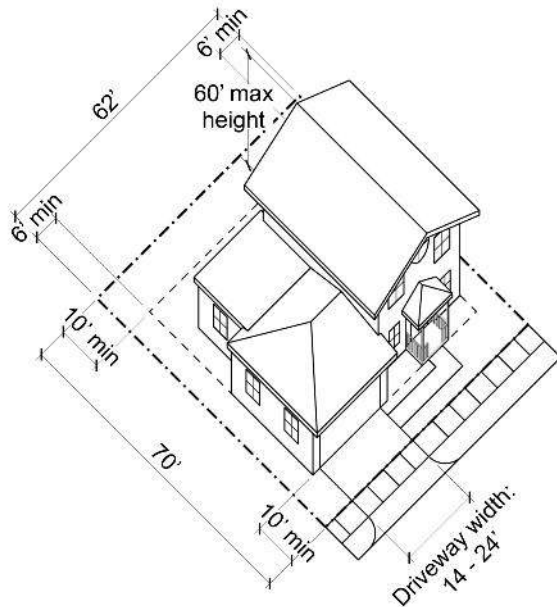
HOUSING TYPE	ALLOWED		Legend:
	CURRENT	PROPOSED	
 Single Family	●	●	● Permitted
 Accessory Dwelling Unit (ADU)	●	●	○ Permitted in Limited Extent
 Cottage Housing	●	●	No Symbol: Not Allowed
 Duplex	●	●	
 Townhouse	●	●	
 Apartment (Multifamily)	●	●	

# Zone: RESIDENTIAL HIGH- RH

## RESULTING FORM

### Existing Code

#### EXAMPLE LOT/HOUSE



**Minimum lot size:** 4,000 SF

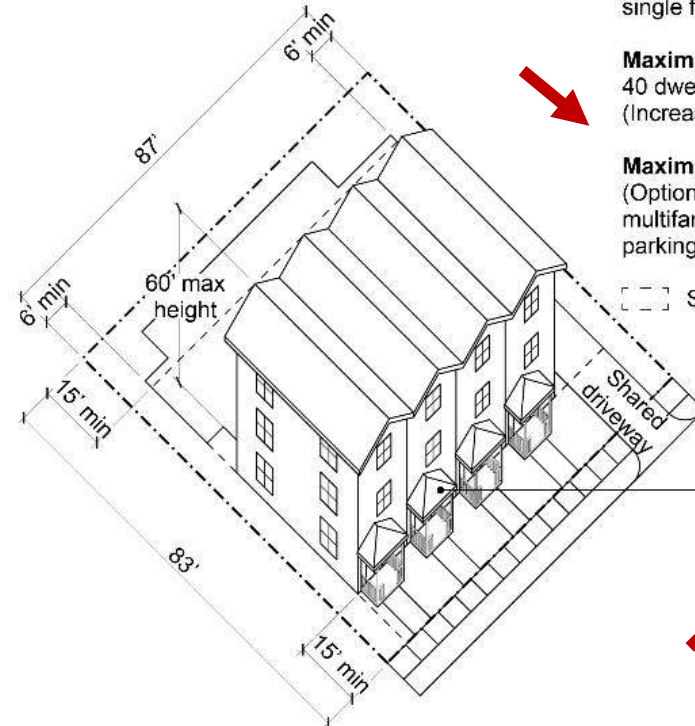
**Maximum density:**  
25 dwelling units/acre

**Maximum lot coverage:** 55%

 Setback envelope

### Proposed Code

#### EXAMPLE LOT WITH TOWNHOUSES



**Minimum lot size:** 3,000 SF  
(Reduced from 4,000 SF for single family)

**Maximum density:**  
40 dwelling units/acre  
(Increased from 25 du/acre)

**Maximum lot coverage:** 55%  
(Option to go up to 75% for multifamily with structured parking)

 Setback envelope

Porch projection  
(up to 8')  
is allowed within  
front setback



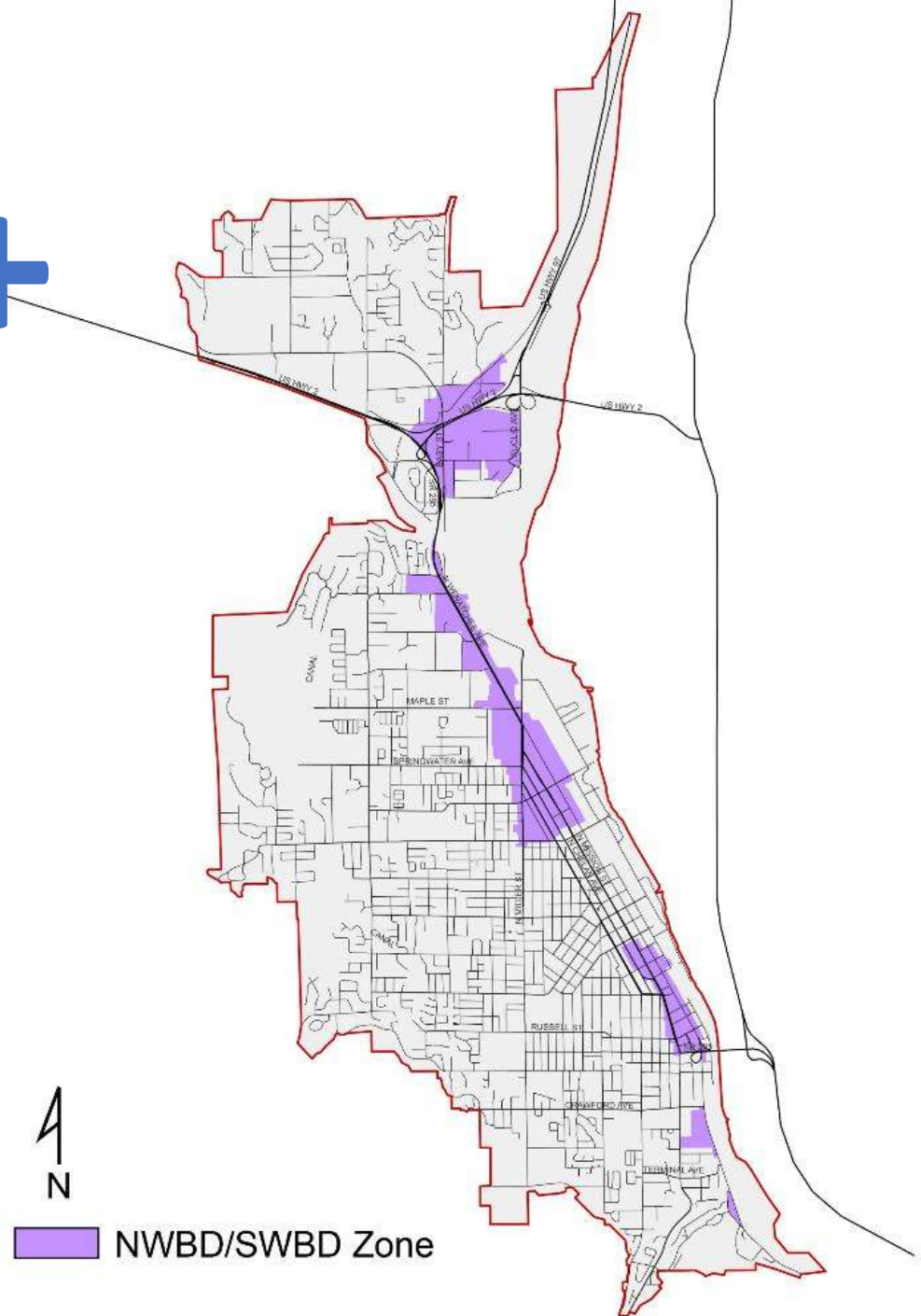
# Zone: RESIDENTIAL MODERATE - RH





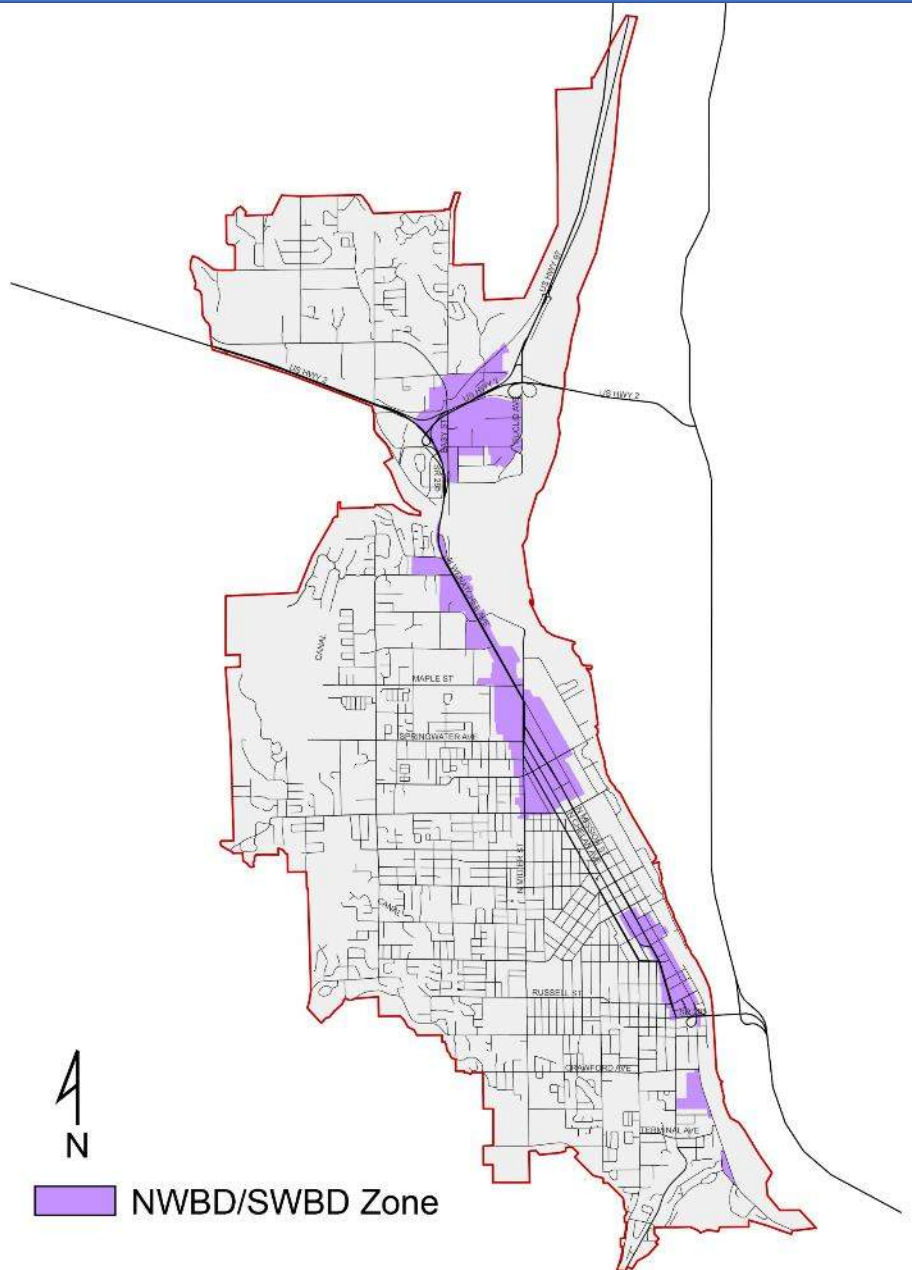
# NWBD + SWBD

NORTH & SOUTH  
WENATCHEE  
BUSINESS  
DISTRICT









## INTENT:

- To encourage increased housing options near downtown.
- To improve the pedestrian quality of these areas.
- To make use of some unique sites.
- To promote live-work opportunities
- NOT diminish the amount of high quality commercial land



## KEY PROPOSED CHANGES

- Not require ground level commercial uses on streets where commercial is less viable, desirable, or critical.
- Reduce parking requirements from 1.5 stalls per dwelling to 1.25 stalls per dwelling. And 2 stalls per live-work units.
- **NO CHANGE** to 85' maximum height.

HOUSING TYPE	ALLOWED	
	CURRENT	PROPOSED
 Single Family		
 Accessory Dwelling Unit (ADU)		
 Cottage Housing		
 Duplex		
 Townhouse	○	●
 Apartment (Multifamily)	○	●

Legend:

● Permitted

○ Permitted in Limited Extent

No Symbol: Not Allowed



## RESULTING FORM

## Proposed Code

### EXAMPLE 5-STORY OVER GROUND FLOOR RESIDENTIAL OR PARKING

**Residential parking:**  
1-1.25 stalls/du  
(With ground floor parking, much less land is required)

**Achieved density:**  
125 du/acre

Ground floor must be non-residential

10' min sidewalk

10' landscaping  
to ensure  
attractive  
ground floor

Ground floor residential or parking allowed only where city determines commercial is not needed for business

# LARGE-SCALE DEVELOPMENT

# Zone: NORTH & SOUTH WENATCHEE BUSINESS DISTRICT (N&SWBD)

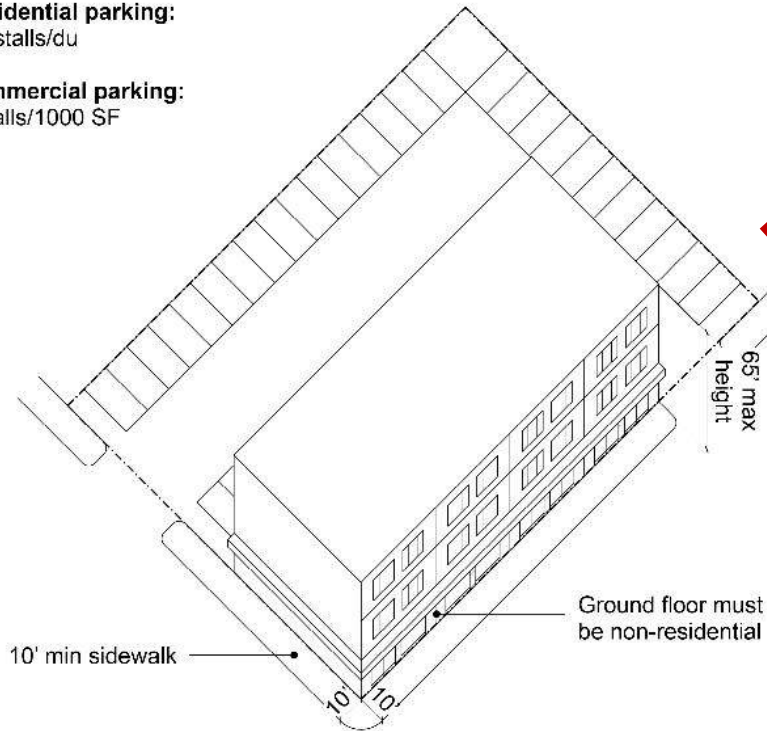
## RESULTING FORM

### Existing Code

#### EXAMPLE LOT

**Residential parking:**  
1.5 stalls/du

**Commercial parking:**  
4 stalls/1000 SF

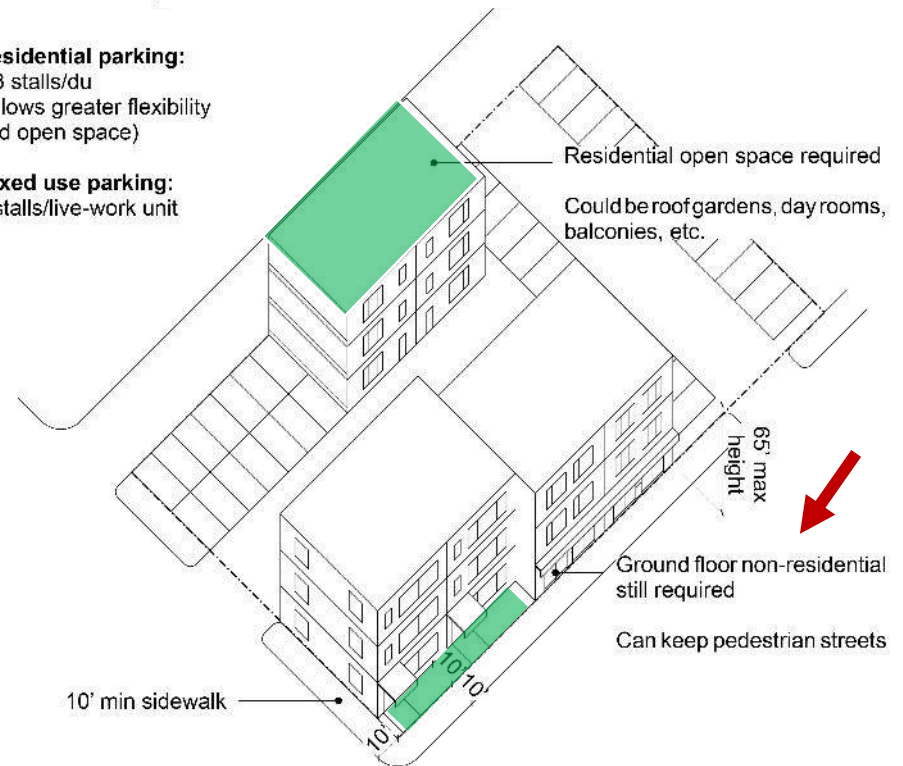


### Proposed Code

#### EXAMPLE LOT

**Residential parking:**  
1.3 stalls/du  
(Allows greater flexibility  
and open space)

**Mixed use parking:**  
2 stalls/live-work unit



# SMALL-SCALE DEVELOPMENT

# Applicable Zoning Chapters

10.08 Definitions

10.10 District Use Chart

10.46 Development Standards Charts

**10.47 Residential Use Standards (*new*)**

10.48 General Development Regulations

10.62 Landscaping and Screening

Misc. Title 10 Code Changes

- 10.11-40 (Districts/Standards)
- Universal changes



# WENATCHEE RESIDENTIAL USE STANDARDS: NEW CHAPTER 10.47

Draft July 10, 2019

NOTE: The provisions herein include material that has been moved from Chapter 10.48 (changes of which are [tracked](#)) and new material (see sections below with "NEW" in parentheses after title).

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10.47.030 Accessory dwelling units (ADU) ( <i>Moved from 10.48.040 with changes tracked</i> ).....	2
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10.47.060 Single family – courtyard. (NEW).....	8
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10.47.070 Cottage housing (four or more units). ( <i>Tracked from existing 10.48.060</i> ) .....	11
10.47.080 Duplexes. ( <i>Nearly a complete update of 10.48.070</i> ).....	15
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#### 10.47.030 Accessory dwelling units (ADU) (Moved from 10.48.040 with changes tracked)

All accessory dwelling units where allowed by Chapter 10.10 WCC, District Use Chart, shall meet the following standards unless otherwise regulated within this code.

(1) Purpose: The purpose of this section is:

- (a) To regulate the establishment of accessory dwelling units within dwellings while preserving the character of single-family neighborhoods;
- (b) To make it possible for adult children to provide care and support to parents in need of assistance;
- (c) To provide increased security and companionship for homeowners;
- (d) To provide the opportunity for homeowners to gain the extra income to offset the rising costs of home ownership; or to provide for the care of disabled family members in their homes.



(2) Standards for all accessory dwelling units, including those attached to the main residence and those that are in a separate building but on the same property.

- (a) Form: An ADU may be created within, or detached from, any existing or new single-family dwelling as a subordinate use. Dwelling units that are physically separated from the primary structure, that is in a separate building, are "detached accessory dwelling units" (DADUs):
- (b) Number: No more than one ADU may be created per legal lot of record.

~~The minimum lot size eligible for an ADU shall be the underlying zoning district minimum lot size plus 1,500 square feet.~~

- (c) Occupancy: Only the property owner, which shall include title holders and contract purchasers, may apply for an ADU. For properties in the RS and RL zones, the property owner must occupy either the primary dwelling or the ADU as their principal residence for at least six months of the year. Exception: The Director may waive the requirement of subsection (a) for up to three years if a letter is submitted that provides evidence of good cause for the waiver. Good cause may include job dislocation, military deployment, sabbatical leave, education, or illness.
- (d) Minimum parking: A minimum of three parking spaces must be provided for the principal and accessory dwelling units. Where on-street parking is available abutting the lot, only two off-street spaces must be provided for the principal and accessory dwelling units. One off-street parking space shall be provided in addition to off-street parking that is required for the primary dwelling, and located behind the front yard setback.

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All accessory dwelling units where allowed by Chapter 10.10 WCC, District Use Chart, shall meet the following standards unless otherwise regulated within this code.

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- (c) To provide increased security and companionship for homeowners;
- (d) To provide the opportunity for homeowners to gain the extra income to offset the rising costs of home ownership; or to provide for the care of disabled family members in their homes.



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- (d) ~~Minimum parking. A minimum of three parking spaces must be provided for the principal and accessory dwelling units. Where on-street parking is available abutting the lot, only two off-street spaces must be provided for the principal and accessory dwelling units. One off-street parking space shall be provided in addition to off-street parking that is required for the primary dwelling, and located behind the front yard setback.~~



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- (a) To regulate the establishment of accessory dwelling units within dwellings while preserving the character of single-family neighborhoods;
- (b) To make it possible for adult children to provide care and support to the need of assistance;
- (c) To provide increased security and companionship for homeowners;
- (d) To provide the opportunity for homeowners to gain the extra income to offset the rising costs of home ownership; or to provide for the care of disabled family members.



(2) Standards for all accessory dwelling units, including those attached to the main residence and those that are in a separate building but on the same property.

- (a) Form: An ADU may be created within, or detached from, any existing or new single-family dwelling as a subordinate use. Dwelling units that are physically separated from the primary structure, that is in a separate building, are "detached accessory dwelling units" (DADUs):
- (b) Number: No more than one ADU may be created per legal lot of record.

~~The minimum lot size eligible for an ADU shall be the underlying zoning district minimum lot size plus 1,500 square feet.~~

- (c) Occupancy: Only the property owner, which shall include title holders and contract purchasers, may apply for an ADU. For properties in the RS and RL zones, the property owner must occupy either the primary dwelling or the ADU as their principal residence for at least six months of the year.  
Exception: The Director may waive the requirement of subsection (a) for up to three years if a letter is submitted that provides evidence of good cause for the waiver. Good cause may include job relocation, military deployment, sabbatical leave, education, or illness.

- (d) Minimum parking: A minimum of three parking spaces must be provided for the principal and accessory dwelling units. Where on-street parking is available abutting the lot, only two off-street spaces must be provided for the principal and accessory dwelling units. One off-street parking space shall be provided in addition to off-street parking that is required for the primary dwelling, and located behind the front yard setback.

#### 10.47.040 Single family dwellings (NEW).

All single-family dwellings where allowed by Chapter [10.10](#) WCC, Districts shall conform to the following standards unless otherwise regulated within this code.

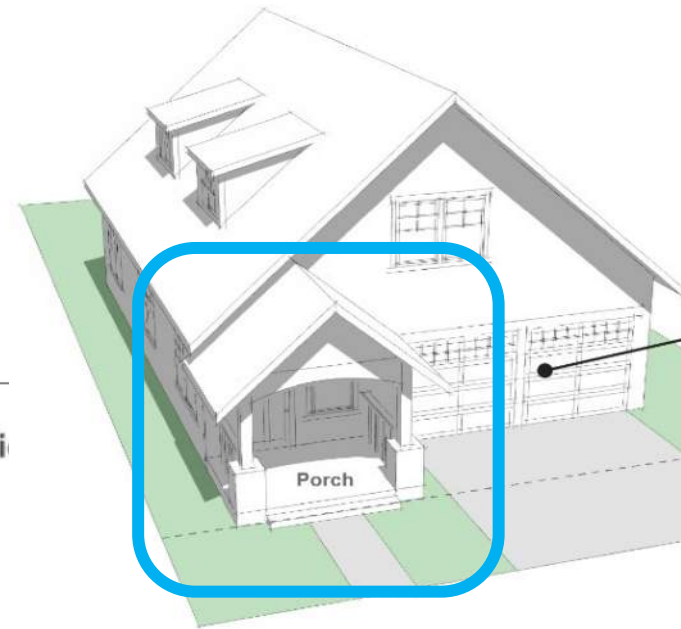
##### (1) Purpose.

- (a) To enhance the character of the street and neighborhood.
- (b) To maintain “eyes on the street” for safety to pedestrians and to create a more welcoming and interesting streetscape.
- (c) To de-emphasize garages and driveways as major visual elements along the street.
- (d) To provide usable open space for residents.

##### (2) Standards.

###### (a) Entry standards.

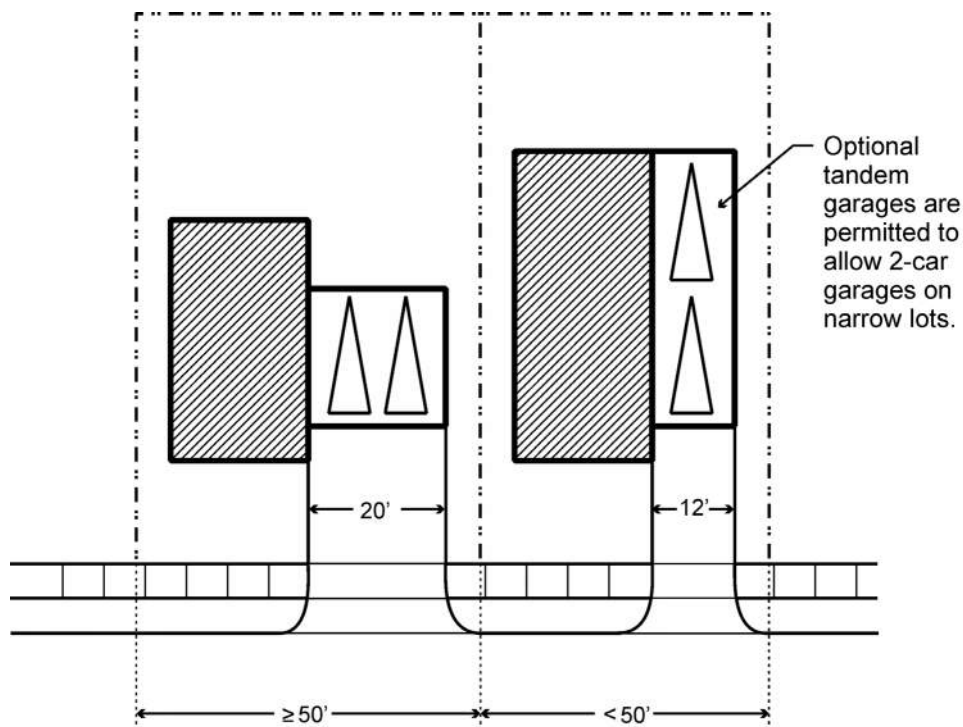
- (i) Clear and obvious pedestrian access between the sidewalk (or the street if there is no sidewalk) and the building entry is required for new dwellings. The driveway may be used for pedestrian access.
- (ii) All new dwellings must provide a covered pedestrian entry with minimum weather protection of three feet by three feet (a covered porch or recessed entry).
- (iii) See the street setback exception for roofed porches and covered entries in WCC [10.46.080\(2\)\(a\)\(ii\)](#).



**Table 10.47.040(2)(b)**

**Driveway width measured at the property/right-of-way line.**

Use Type	Minimum Width	Maximum Width
Residential		
Lot width = 50 feet or greater	10 feet	18 feet
Lot width < 50 feet	10 feet	12 feet or 18 feet if shared with adjacent lot





- (d) **Garage standards.** Garages (attached or detached) may occupy no more than 50-percent of the width of the ground-level façade facing the street. Garage doors may exceed this limit up to a maximum of 65-percent of the width of the ground level façade facing the street provided at least two of the following design details are utilized:
- (i) A decorative trellis over at least the entire width of the garage door(s).
  - (ii) A window or windows are placed above the garage on a second story or attic wall.
  - (iii) A balcony that extends out over the garage and includes decorative support columns.
  - (iv) Utilizing all single vehicle car doors as an alternative to wider garage doors suitable for two car garages.
  - (v) Windows on the garage door.
  - (vi) Decorative details on the garage door. Standard squares on a garage door will not qualify as a decorative detail.



**Figure 10.47.040(2)(d)**  
**Garage design detail examples.**



A decorative trellis over the garage door.



A balcony over the garage, single doors (instead of a wider double door), and windows above the garage on a second



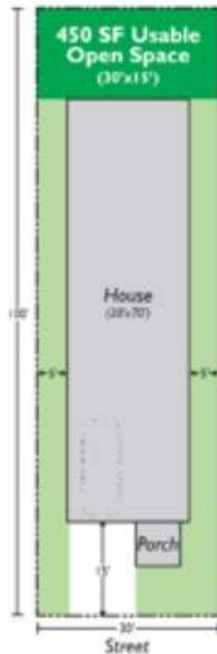
A balcony over garage with decorative support columns.

**Figure 10.47.040(2)(e).**

**Examples of how to provide the minimum amount of usable open space.**



**4,500 SF Lot**  
450 SF usable open space required



**3,000 SF Lot**  
300 SF usable open space required



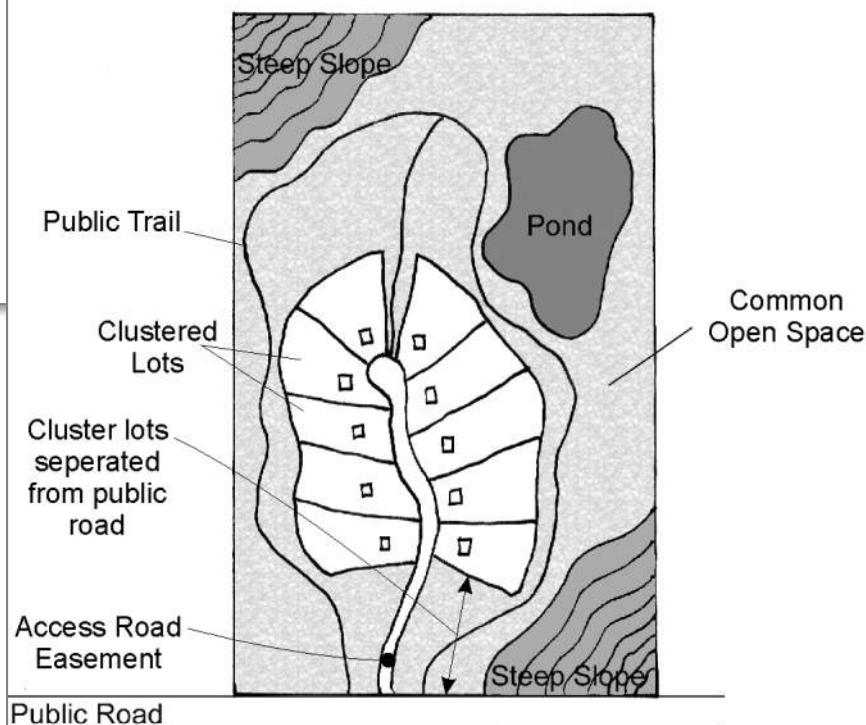
**3,000 SF Lot  
Zero Lot Line**  
300 SF usable open space required



#### 10.47.050 Single family – cluster. (NEW).

Single family cluster developments and lots are subject to the lot dimensions and setback standards in WCC 10.46.020. Exception: Lots may be exempted from minimum lot area, depth, width, and rear setback standards, provided they are arranged in clusters of four to 12 dwelling units around a centralized common open spaces and meet following standards:

- (1) Development parameters based on compliance with the provisions herein shall be placed on the final plat or final unit lot subdivision.
- (2) Cluster single family developments must meet zoning district density standards.
- (3) Setbacks.
  - (a) Dwellings built along streets and side property lines along the perimeter of the development are subject to the applicable street and side setbacks in WCC Chapter 10.46.020
  - (b) Dwellings built along rear property lines shall maintain ten-foot minimum setbacks.
  - (c) The minimum internal setback between dwellings is ten-feet.
- (4) At least 50-percent of the dwellings shall abut a common open space meeting the standards in subsection (3) below. Direct access to the common open space shall be provided for each dwelling by





#### 10.47.060 Single family – courtyard. (NEW).

Single family-courtyard is an alternative subdivision layout for single family dwellings where multiple dwelling units are served by a shared private lane. It may be used wherever single family dwellings are allowed by Chapter [10.10](#) WCC, District Use Chart.

(1) Purpose. To allow greater flexibility to integrate infill single family lots served by a shared private lane.

(2) Standards.

(a) Maximum number of lots served by a shared private lane: Six (this includes lots fronting the street on either side of the private lane as shown in Figure 10.47.060)

(b) Shared private lanes are subject to

(i) Maximum length: 150-feet (see

(ii) Minimum width: 15-feet paved

(c) Setback standards and options for

(i) Lots fronting on a public street  
corner lots for the purpose of d

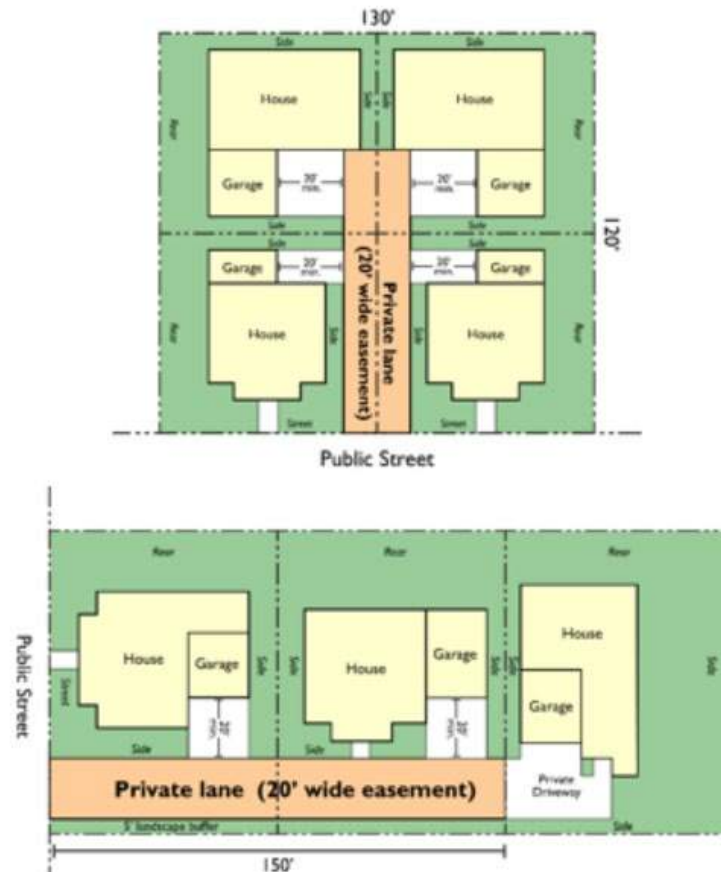
(ii) Open space standards of WCC

(iii) Garages facing a shared private lane easement line.

(iv) For interior lots featuring a the lot, no street setback is required the side of the lot featuring the the easement. The rear setback

(v) Lots sited at the terminus of a requirement. Such lots must m

**Figure 10.47.060(3)**  
**Examples of courtyard single family developments.**



**10.47.070 Cottage housing (four or more units). (Tracked from existing 10.48.060)**

Cottage housing development use permissions are provided by Chapter [10.10](#) WCC, District Use Chart. Cottage housing developments that feature four or more cottage dwellings are subject to the following standards unless otherwise regulated within this code.

**(1) Purpose.**

- (a) To provide housing types that are responsive to changing household demographics (e.g., retirees, small families, young professionals).
- (b) To provide opportunities for more affordable housing within single-family neighborhoods.
- (c) To encourage creation of functional usable open space in residential communities.
- (d) To promote neighborhood interaction and safety through design.
- (e) To ensure compatibility with neighboring uses.
- (f) To provide opportunities for infill development consistent with goals of the Wenatchee urban area comprehensive plan.

**Figure 10.47.070(1)(a)**  
**Cottage housing development examples.**



Left example: Note the transition between the common open space on the left and the cottages includes a semi-private garden space and a porch. The middle and right images illustrate the standard "commons" as a simple green space for informal recreation activities. In all examples, the units orient towards the open space and include porches and a small semi-private garden.

**10.47.070 Cottage housing (four or more units). (Tracked from existing 10.48.060)**

Cottage housing development use permissions are provided by Chapter [10.10](#) WCC, District Use Chart. Cottage housing developments that feature four or more cottage dwellings are subject to the following standards unless otherwise regulated within this code.

(1) Purpose

(a) To

S

(b) To

(c) To

(d) To

(e) To

(f) To

C

**Figure 10.47.070(1)(b)  
Cottage housing site plan example.**

Private internal access road with  
parking (open and enclosed)  
placed to the side of cottages

Cottages with porches facing  
common open space

Private open space

Connected internal  
pathway system



Shared community  
building

10' min. separation  
between cottages



#### 10.47.070 Cottage housing (four or more units). (Tracked from existing 10.48.060)

Cottage housing development use permissions are provided by Chapter 10.10 WCC, District Use Chart. Cottage housing developments that feature four or more cottage dwellings are subject to the following standards unless otherwise regulated within this code.

#### Figure 10.47.070(1)(b)

##### Cottage housing site plan example

#### (2) Standards.

- (a) Cottage housing development options include ownership, rental, condominium, and subdivision.
- (b) Subdivision: Where a cottage housing development involves a subdivision, development parameters as determined by the City shall be placed on the final plat or final unit lot subdivision. Cottage subdivisions shall be processed as a residential planned development subject to subsection (9) of this section. Approval of a cottage housing development does not constitute approval of a planned development or subdivision.
- (c) Minimum and maximum number of cottages.
  - (i) A single cottage housing development shall include a minimum of four dwelling units, up to a maximum of 24 units. The City may allow development of more than 24 dwelling units if all of the purposes stated above are achieved.
  - (ii) Four to 12 cottage structures may make up a cluster (a grouping of cottages situated around a common open space or pedestrian circulation network, each with an entry facing the courtyard or pedestrian system).
  - (iii) ~~Carriage units are permitted within a cottage development; provided, no more than one-third of the total units within a cottage development are carriage units.~~
- (d) Maximum cottage size: The total floor area for ~~cottages~~ a cottage shall range between 650 square feet to 1,250 square feet; provided, the ground floor is not greater than 1,080 square feet.
- (e) Density: For the purposes of complying with the maximum density of the applicable zoning district, each cottage shall be counted as one-half dwelling unit. For example, for an existing lot that qualifies for three dwelling units would qualify for six cottages.
- (f) Setbacks
  - (i) Cottages built along streets are subject to the applicable street setbacks in WCC Chapter 10.46.
  - (ii) Cottages built adjacent to side property lines are subject to the applicable side setback.

**10.47.060 Infill-Cottage housing (two to three units). (NEW, but borrows from existing 10.48.060)**

Cottage housing development use permissions are provided by Chapter 10.10 WCC, District Use Chart. Cottage housing developments that feature between two to three cottage dwellings are subject to the following standards unless otherwise regulated within this code.

**(1) Purpose.**

- (a) To provide housing types that are responsive to changing household demographics (e.g., retirees, small families, young professionals).
- (b) To provide opportunities for more affordable housing within single-family neighborhoods.
- (c) To ensure compatibility with neighboring uses.
- (d) To provide opportunities for infill development consistent with goals of the Wenatchee urban area comprehensive plan.

**(2) Standards.**

- (a) Occupancy: Cottage housing development options include ownership subdivision. One existing single-family dwelling may be incorporated into development. Nonconforming residences with respect to architectural standards may be grandfathered.
- (b) Minimum and maximum number of cottages.
  - (i) Two units minimum.
  - (ii) Three units maximum.
- (c) Maximum cottage size: The total floor area for cottages shall not be more than 50% of the gross floor area.
- (d) Density: For the purposes of complying with the maximum density, each cottage shall be counted as one-half dwelling unit. For example, for between 1.0 and 1.49 dwelling units, two cottages complying with the standards may be built. For an existing lot that qualifies for between 1.50 and 1.99 dwelling units, three cottages may be built.
- (e) Setbacks.





**10.47.060 Infill-Cottage housing (two to three units). (NEW, but borrows from existing 10.48.060)**

Cottage housing development use permissions are provided by Chapter 10.10 WCC, District Use Chart. Cottage housing developments that feature between two to three cottage dwellings are subject to the following standards unless otherwise regulated within this code.

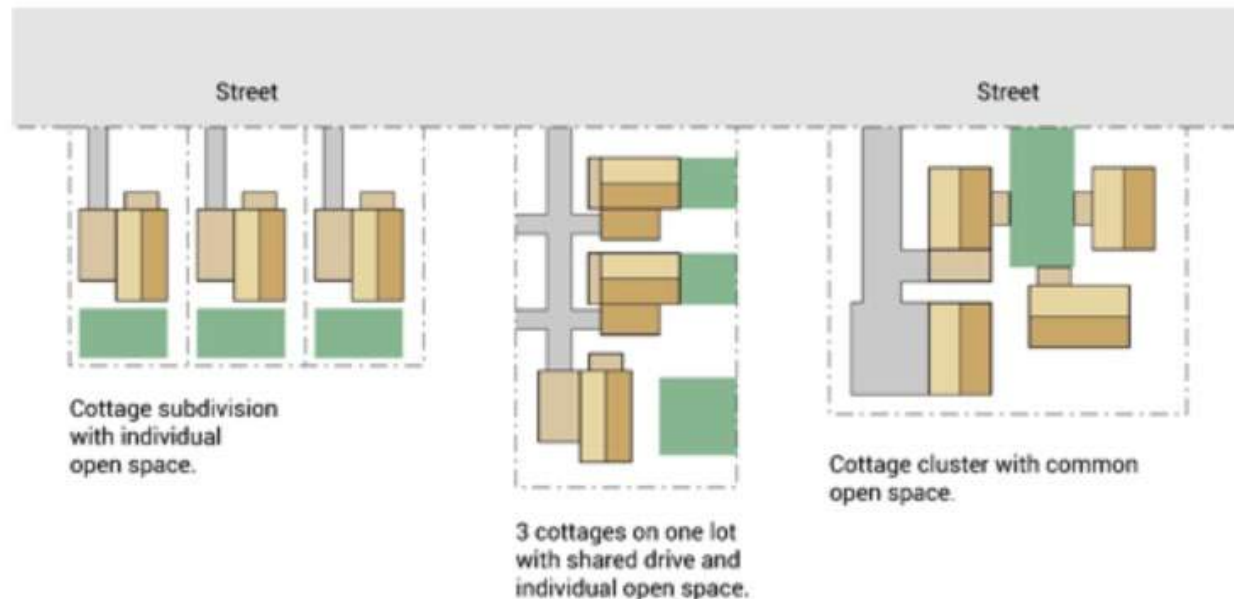
**(1) Purpose.**

- (a) To provide housing types that are responsive to changing household demographics (e.g., small families, young professionals).
- (b) To provide opportunities for more affordable housing within single-family neighborhoods.
- (c) To ensure compatibility with neighboring uses.
- (d) To provide opportunities for infill development consistent with goals of the Wenatchee urban comprehensive plan.



**Figure 10.47.060(2)**

**Example configurations of developments with three cottages.**





**10.47.080 Duplexes.** *(Nearly a complete update of 10.48.070).*

All duplexes where allowed by Chapter 10.10 WCC, District Use Chart, shall meet the following standards unless otherwise regulated within this code.

(1) Purpose.

- (a) To enhance the character of the street and neighborhood.
- (b) To maintain "eyes on the street" for safety to pedestrians and create an interesting streetscape.
- (c) To de-emphasize garages and driveways as major visual elements.
- (d) To provide usable open space for residents.

(2) Standards.

~~Conversion of single family dwelling units adding 20 percent or more shall be exempt from standards for the roof and front forward garages.~~

- (a) Off-street parking. Each dwelling unit shall have one parking stall per bedroom up to two stalls per dwelling unit.
- (b) Access. Access to principal or minor arterial streets shall be limited to a single driveway (18 feet maximum width) per unit unless accessed from an alley.
- (c) Architectural design. See Residential Design Guidelines Section E: Building Design.



(3) Minimum usable open space. Duplexes shall include usable open space for each dwelling unit:

- (a) Each unit must include a contiguous open space with a minimum dimension of 15 feet on all sides. *[The Director will allow a reduced minimum dimension of 10 feet on all sides provided multiple usable open spaces are integrated such as upper level decks or balconies.]*
- (b) The combined open spaces must be equivalent to ten-percent (minimum) of the duplex lot area. For example, an 8,000 square foot lot would require a usable open spaces of at least 800 square feet [e.g., 20 feet by 20 feet (400 square feet) for each unit]. Unenclosed ground level porches and patio areas and upper floor decks may be included in the open space calculations.

**10.47.080 Duplexes. (Nearly a complete update of 10.48.070).**

All duplexes where allowed by Chapter 10.10 WCC, District Use Chart, shall meet the following standards unless otherwise regulated within this code.

(1) Purpose.

(a) To enhance the character of the street and neighbor

(b) To inte

(c) To

(d) To

(2) Stan

Conversion  
be-exempt

(a) Off-  
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(c) Arc

(3) Minir

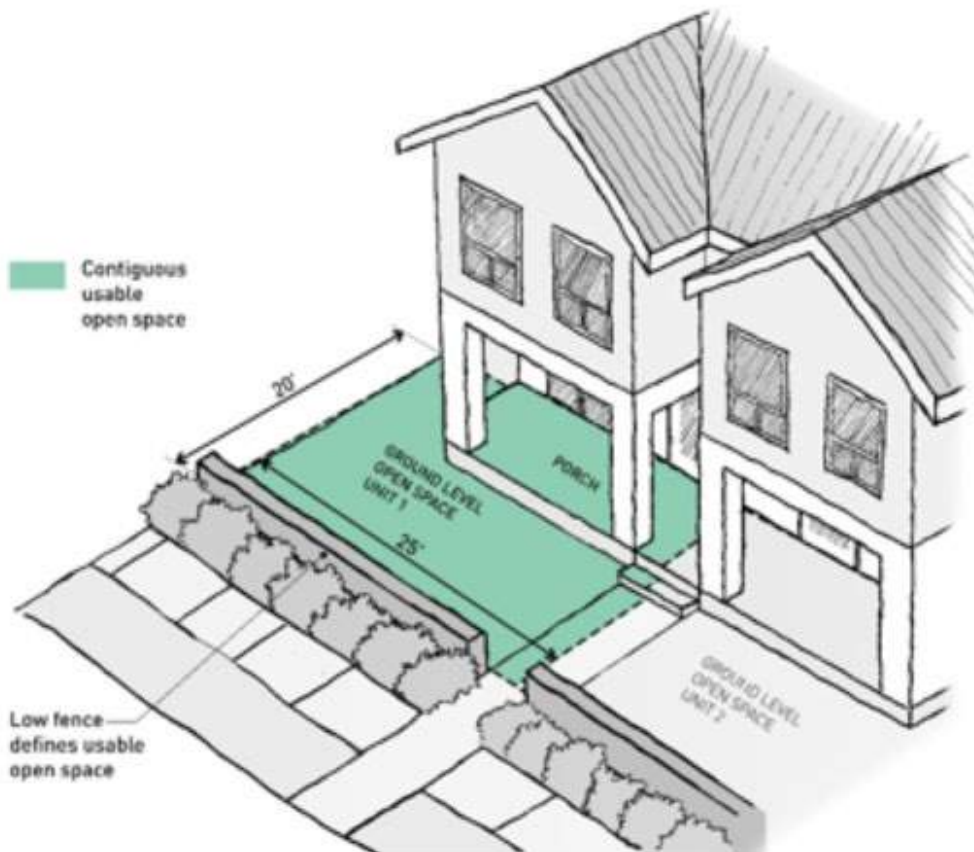
(a) Eac  
The  
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(b) The  
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[e.g.  
are



**Figure 10.47.080.a**

**Example of integrating a duplex's minimum usable open space into the street setback.**





#### 10.47.090 Courtyard housing. (NEW)

All courtyard housing developments where allowed by Chapter [10.10](#) WCC, District Use Chart, are subject to compliance with the Residential Design Guidelines shall meet the following standards unless otherwise regulated within this code. Courtyard housing is characterized by attached multifamily units arranged around a courtyard. The units may be all ground related, like townhouses, or a combination of ground related and upper story residences. Courtyard housing on a single lot is a special case of "multifamily development", but standards for courtyard housing are separated here because of that housing type's unique configuration around a courtyard or open space.

(1) Purpose.

**Figure 10.47.080**  
**Courtyard housing development examples.**



(2) Standards.



#### 10.47.100 Townhouses. (NEW).

All townhouses where allowed by Chapter [10.10](#) WCC, District Use Chart, are subject to compliance with the Residential Design Guidelines shall meet the following standards unless otherwise regulated within this code.

##### (1) Purpose.

- (a) To provide housing types that are responsive to changing household demographics (e.g., retirees, small families, young professionals).
- (b) To encourage creation of functional usable open space in residential communities.
- (c) To enhance the streetscape and promote neighborhood interaction and safety through design.
- (d) To ensure compatibility with neighboring uses.
- (e) To enhance design character and livability of townhouse developments.
- (f) To provide opportunities for infill development consistent with goals of the Wenatchee urban area comprehensive plan.

##### (2) Standards.

- (a) **Setbacks.** The minimum setbacks set forth in WCC Chapter 10.46 apply to development frontage and external side and rear setbacks of the entire townhouse development. Townhouse units within a single development are exempt from internal side and rear setbacks unless otherwise noted below. However, if the development includes the creation of new lots, the new development must conform to the provisions of WCC 11.32.080 Unit Lot S
  - (i) Townhouses built along and oriented to public streets shall meet the minimum setbacks in WCC Chapter 10.46. Additional setbacks may apply.
  - (ii) Townhouses built along side property lines shall meet the minimum side setbacks in WCC Chapter 10.46.

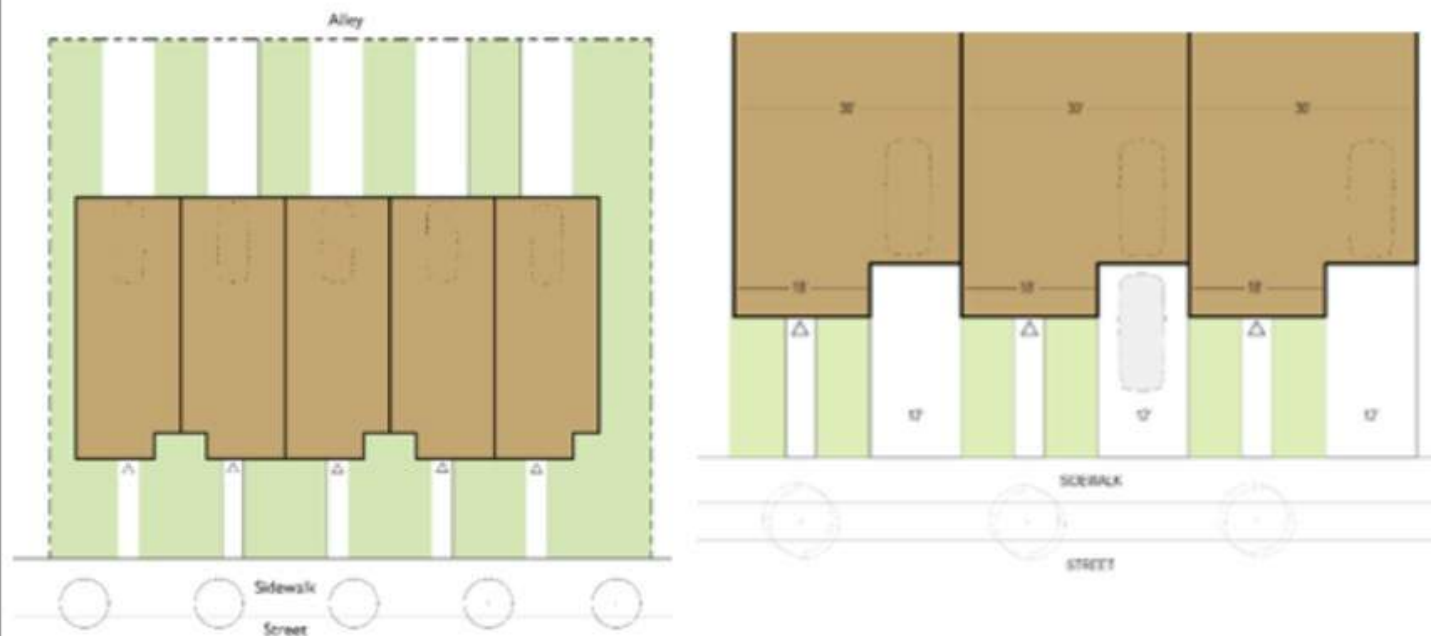


#### 10.47.100 Townhouses. (NEW).

All townhouses where allowed by Chapter [10.10](#) WCC, District Use Chart, are subject to compliance with the Residential Design Guidelines shall meet the following standards unless otherwise regulated within this code.

**Figure 10.47.100(c)**

**Townhouse garage access configurations – acceptable and unacceptable examples.**



The left example includes alley access to private garages. The right example includes front-loaded townhouses units that meet the 30' minimum width standard for such designs that include individual 12' maximum driveway widths accessed from the street.

#### 10.47.100 Townhouses. (NEW).

All townhouses where allowed by Chapter 10.10 WCC, District Use Chart, are subject to compliance with the Residential Design Guidelines shall meet the following standards unless otherwise regulated within this code.

##### (i) Purpose.



ing household demographics (e.g., retirees,

e in residential communities.

ed interaction and safety through design.

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chapter 10.46 apply- to development frontage  
house development. Townhouse units within a  
l rear setbacks unless otherwise noted below.

setbacks in WCC Chapter 10.46. Additional  
apply.

- (ii) Townhouses built along side property lines  
side setbacks in WCC Chapter 10.46.





**10.47.120 Multifamily development. (Complete update of 10.48.080)**

The provisions herein apply to multifamily dwellings, as defined in WCC 10.08.055, except for courtyard housing (see WCC 10.47.090) and townhouses (see WCC 10.47.100).

(1) Purpose.



**Figure 10.47.120(1)  
Multifamily housing development examples.**



(2) Standards.

(a) Multifamily housing development options include ownership, rental, and condominium.

(b) Density: The maximum density shall be as described in WCC 10.46.020.

(d) Site design and orientation. Dwellings within a multifamily housing development shall be oriented to provide both access and privacy for the residents.

(i) Clear and obvious pedestrian access and visual access between the sidewalk (or the street if there is no sidewalk) and the multifamily is required for new multifamily dwellings.

(ii) For all new multifamily dwellings adjacent to a street, see Residential Design Guidelines, especially C.1, C.2.1 and E.5.1.

(e) Building design and orientation. See Section E in the Residential Design Guidelines

(f) Open space.

(i) Amount of required residential open space. All new multifamily buildings with three or more residential units shall either provide on-site open space of 100 square feet per dwelling unit or 10-percent of residential unit floor area, (excluding hallways and common areas) that provides functional leisure or recreational activities. (The lesser amount of the two calculations is acceptable.) The open space may be in the form of common open space, balconies, roof decks, indoor recreation spaces or similar features provided they meet the requirements of the Residential Design Guidelines Section C.3. Required setback areas shall count as part of the required open space requirement if they meet the requirements in the Residential Design Guidelines.

(ii) Surface water management facilities may be included in the open space calculation for meeting minimum requirements, if it can be demonstrated that they are designed so that residents can use the space similar to other open space designations.

(g) Access, parking, and garages.

(i) Each multifamily dwelling unit shall provide at least one off-street parking space per bedroom, up to two parking spaces per unit.

(ii) Parking areas shall be located to the side or rear of multifamily units (not between the

(d) Site design and orientation. Dwellings within a multifamily housing development shall be oriented to provide both access and privacy for the residents.

(i) Clear and obvious pedestrian access and visual access between the sidewalk (or the street if there is no sidewalk) and the multifamily is required for new multifamily dwellings.

(ii) For all new multifamily dwellings adjacent to a street, see Residential Design Guidelines, especially C.1, C.2.1 and E.5.1.

(e) Building design and orientation. See Section E in the Residential Design Guidelines

(f) Open space.

(i) Amount of required residential open space. All new multifamily buildings with three or more residential units shall either provide on-site open space of 100 square feet per dwelling unit or 10-percent of residential unit floor area, (excluding hallways and common areas) that provides functional leisure or recreational activities. (The lesser amount of the two calculations is acceptable.) The open space may be in the form of common open space, balconies, roof decks, indoor recreation spaces or similar features provided they meet the requirements of the Residential Design Guidelines Section C.3. Required setback areas shall count as part of the required open space requirement if they meet the requirements in the Residential Design Guidelines.

(ii) Surface water management facilities may be included in the open space calculation for meeting minimum requirements, if it can be demonstrated that they are designed so that residents can use the space similar to other open space designations.

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# Applicable Zoning Chapters

10.08 Definitions

10.10 District Use Chart

10.46 Development Standards Charts

10.47 Residential Use Standards (*new*)

**10.48 General Development Regulations**

10.62 Landscaping and Screening

Misc. Title 10 Code Changes

- 10.11-40 (Districts/Standards)
- Universal changes

#### 10.48.030 Accessory structures.

NO PROPOSED CHANGES EXCEPT:

(5) No accessory structure shall occupy any part of a required ~~front yard~~street setback area, except as otherwise allowed.

(9) Detached accessory dwelling units shall meet rear and side ~~yard~~-accessory structure setback requirements and shall be set back equal to or further than the primary dwelling from the front property line.

#### ~~10.48.040 Accessory dwelling units (ADU).~~

DELETE IN FULL – UPDATED CONTENT IN WCC 10.47.030

#### ~~10.48.050 Residential structures.~~

DELETE IN FULL – UPDATED CONTENT IN WCC 10.47.020

#### ~~10.48.060 Cottage housing.~~

DELETE IN FULL – UPDATED CONTENT IN WCC 10.47.070

#### ~~10.48.070 Duplexes.~~

DELETE IN FULL – UPDATED CONTENT IN WCC 10.47.080

#### ~~10.48.080 Multifamily development (three or more attached or detached dwelling units).~~

DELETE IN FULL – UPDATED CONTENT IN WCC 10.47.120

#### 10.48.0490 Pedestrian connections.

NO PROPOSED CHANGES

#### 10.48.05100 Bed and breakfasts.

NO PROPOSED CHANGES

# Applicable Zoning Chapters

10.08 Definitions

10.10 District Use Chart

10.46 Development Standards Charts

10.47 Residential Use Standards (*new*)

10.48 General Development Regulations

## **10.62 Landscaping and Screening**

Misc. Title 10 Code Changes

- 10.11-40 (Districts/Standards)
- Universal changes



Placeholder if John wants to add anything....maybe just a cover shot of start of chapter

# Applicable Zoning Chapters

10.08 Definitions

10.10 District Use Chart

10.46 Development Standards Charts

10.47 Residential Use Standards (*new*)

10.48 General Development Regulations

10.62 Landscaping and Screening

## **Misc. Title 10 Code Changes**

- 10.11-40 (Districts/Standards)
- Universal changes

## Chapter 10.24 CENTRAL BUSINESS DISTRICT (CBD)

### 10.24.050 Development standards.

(5) All applicable provisions of Chapters 10.47 and 10.48 WCC, ~~General Regulations~~, shall apply to development in this district.

(7) Architectural Scale. The intent is to incorporate architectural design features to enhance downtown's historic identity and to increase visual interest.

The provisions below apply to all new buildings. However, residential and mixed-use buildings are also subject to the building design provisions of the Residential Design Guidelines Section E. Where there's a conflict between the provisions below and the provisions of the Residential Design Guidelines Section E, the latter shall apply.

(8) Exterior Building Materials. The intent is to ensure consistent building design that utilizes building materials reinforcing downtown's historic identity and long-term investment. Building material standards shall apply only to wall surfaces that are visible from a public right-of-way, not including alleys. Minor repair and maintenance is exempt from these standards. Minor repair constitutes less than 30 percent of any wall surface.

The provisions below apply to all new buildings. However, residential and mixed-use buildings are also subject to the building design provisions of the Residential Design Guidelines Section E. Where there's a conflict between the provisions below and the provisions of the Residential Design Guidelines Section E, the latter shall apply.

(9) Blank Wall Limitation. The intent is to reduce blank wall impacts on the pedestrian and business district environment. Provide varied, pedestrian-friendly building facades and sidewalk activities. Avoid the creation of blank walls and dull facades that deaden the surrounding space and create an uninviting street environment.

The provisions below apply to all new buildings. However, residential and mixed-use buildings are also subject to the building design provisions of the Residential Design Guidelines Section E. Where there's a



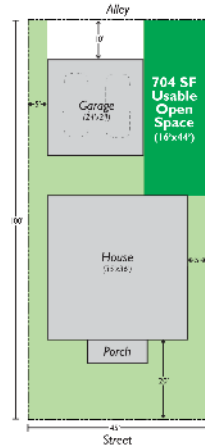
# Design Guidelines Proposal

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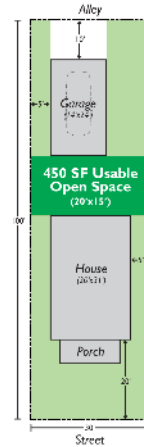




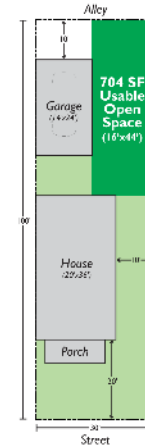
# Enhancing Neighborhoods: DESIGN GUIDELINES



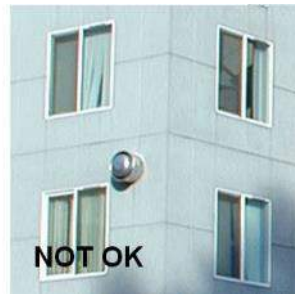
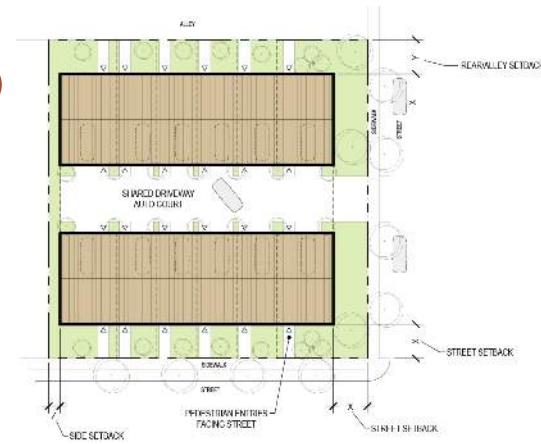
**4,500 SF Lot**  
450 SF usable open space required



**3,000 SF Lot**  
300 SF usable open space required



**3,000 SF Lot  
Zero Lot Line**  
300 SF usable open space required



At intersections, locate the building within 15' of both ROWs and follow E.5 Building Corners. If the Signature Road intersects a Pedestrian-Oriented Street, orient the building to it, and a Pedestrian-Oriented Facade treatment per E.4.1 is encouraged on the Signature Road front.

Commercial or residential ground floors are allowed.

For residential buildings on non-arterial roads within 30' of the ROW, provide:  
No garages on the ground floor,  
At least 15% transparency on the front facade or Type 1 or 2 landscaping,

A covered porch, stoop, or patio for individual unit entries (preferred), or a clearly recognizable, covered shared entry.

Zero-lot-line is encouraged.  
Elevate residential ground floor at least 2' above grade and adhere to Section C.1.3 Residence Faces Fronting on Pedestrian Pathways and Open Spaces.

No fences or screening walls taller than 3' are allowed within 15' of the ROW.

Generally, set back residential buildings 10 to 25' from ROW.

Screen any parking areas along the street.

No parking is allowed between the building and the street. Limit parking to 50% of the street front or 65', whichever is narrower.

No areas for outdoor displays or sales of large items are allowed except auto dealerships.



On commercial buildings, feature at least 50% transparency on the ground floor facade between 3 and 8 feet above grade.

Set the building far enough back from the street edge to provide for at least a 5' landscape strip and 6' sidewalk, but no greater than 10' from the ROW.

Provide one street tree at least every 40' on center.

# DESIGN GUIDELINES

Augment Zoning Code provisions.

Apply to all residential and mixed-use development except:

- Single family residence on a standard lot unless the guideline requirement is referenced in the zoning code.
- Accessory Dwelling units (ADUs) and Detached Accessory Dwelling Units. (DADUs)



# DESIGN GUIDELINES

Organized according to design process

1. First the big elements – site planning
2. Second, the site details and landscape elements.
3. Third: building design

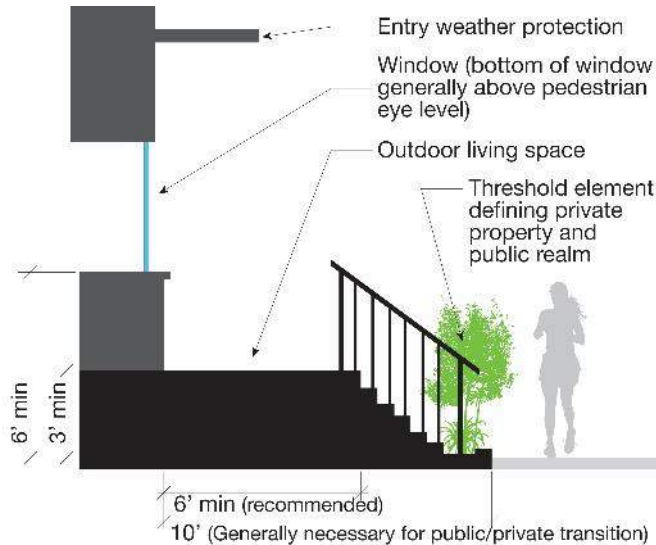
## SITE PLANNING:



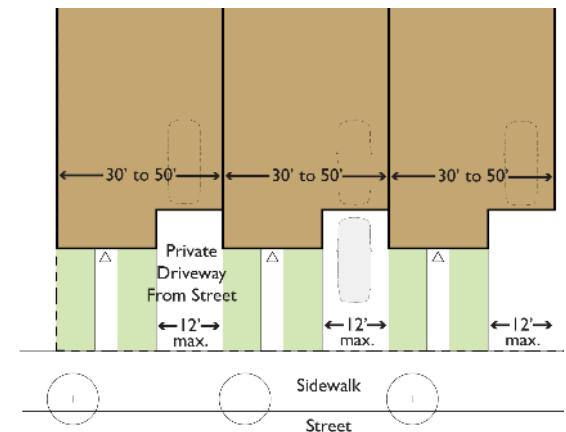


## SITE PLANNING: Ground Related Units

Entries and relationship the street  
– private and welcoming.



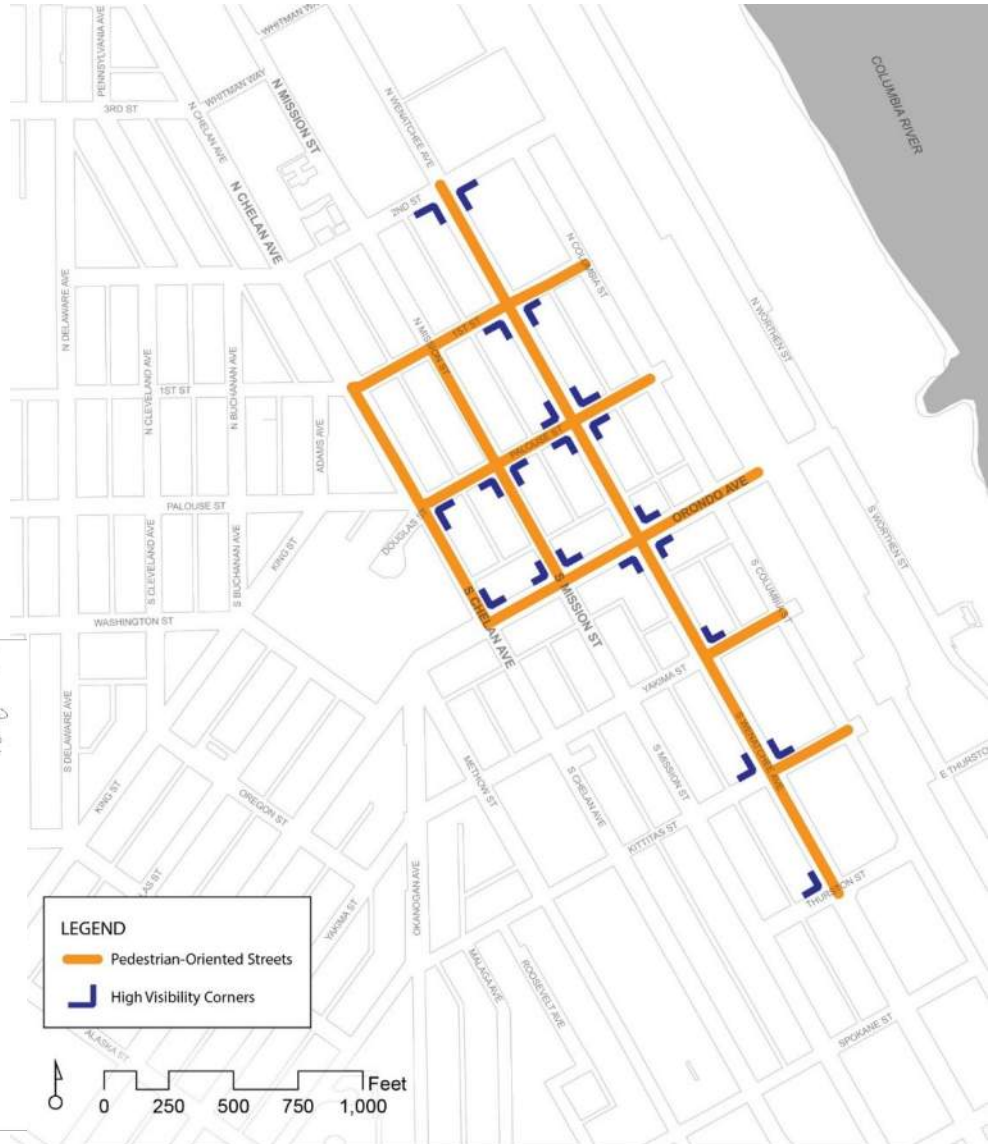
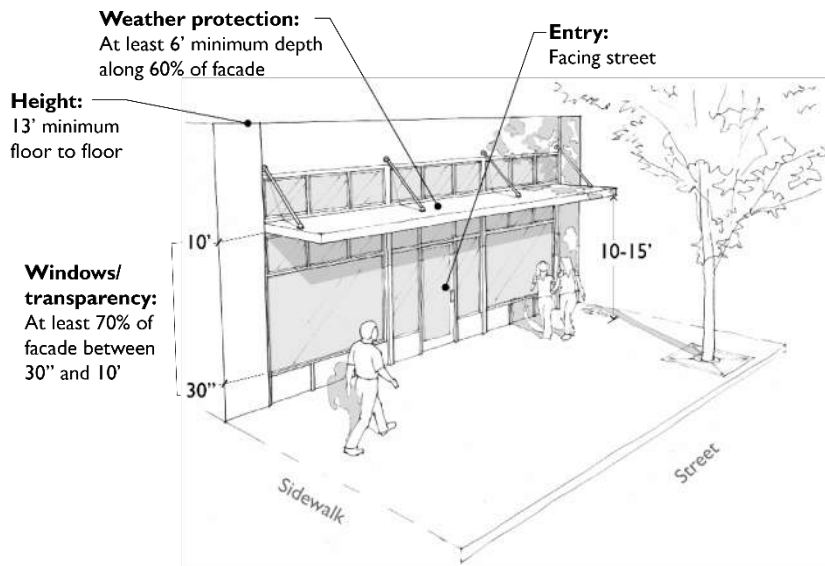
Parking and open space arrangements.





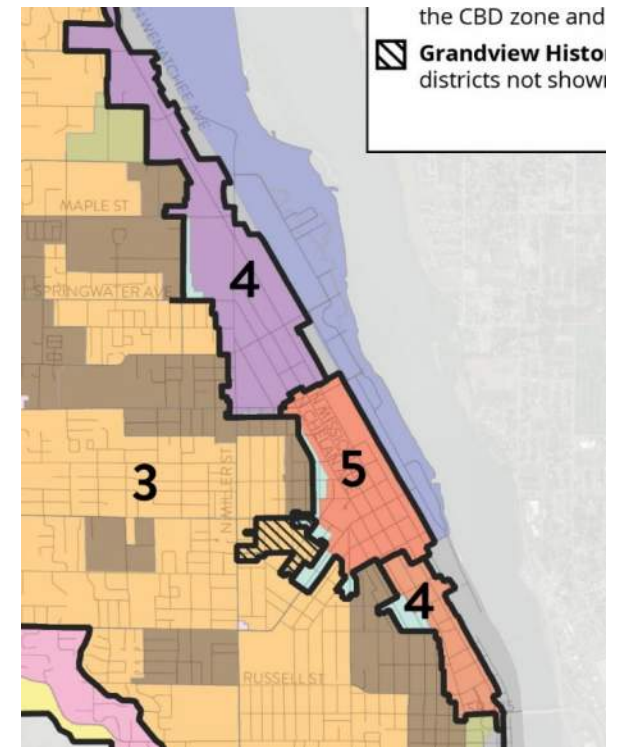
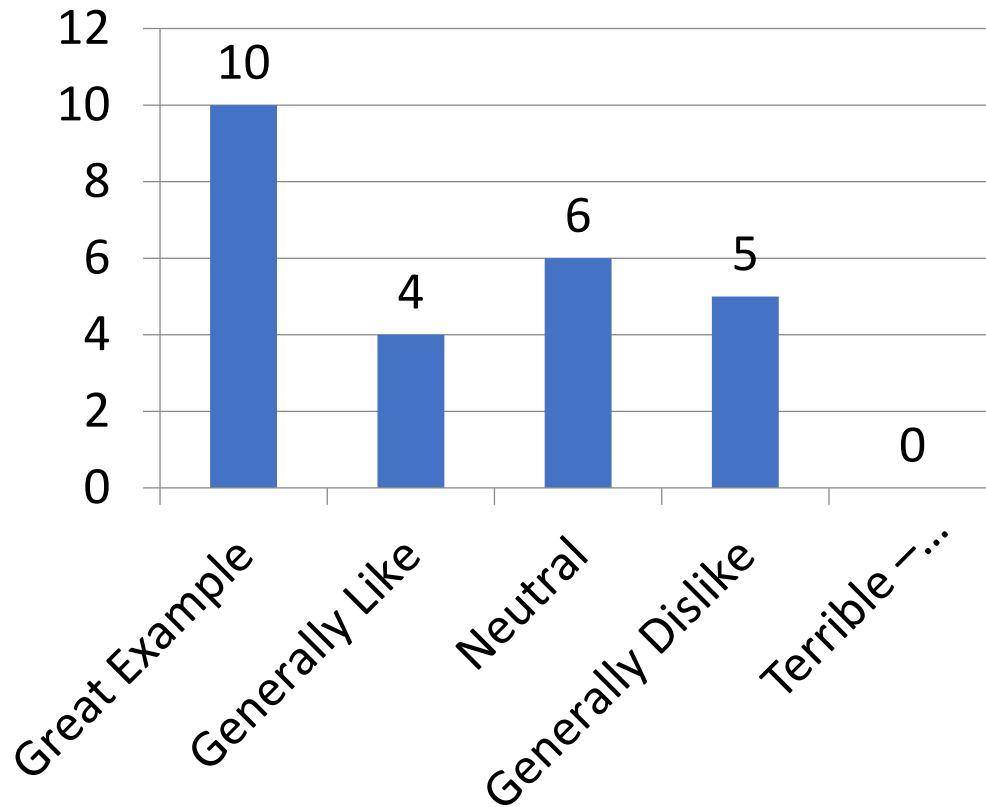
# SITE PLANNING: COMMERCIAL STREET FRONTS

Require ground floor commercial and pedestrian oriented facades only on certain streets. Will make it easier to develop housing in NWBD, SWBD and some overlay districts.



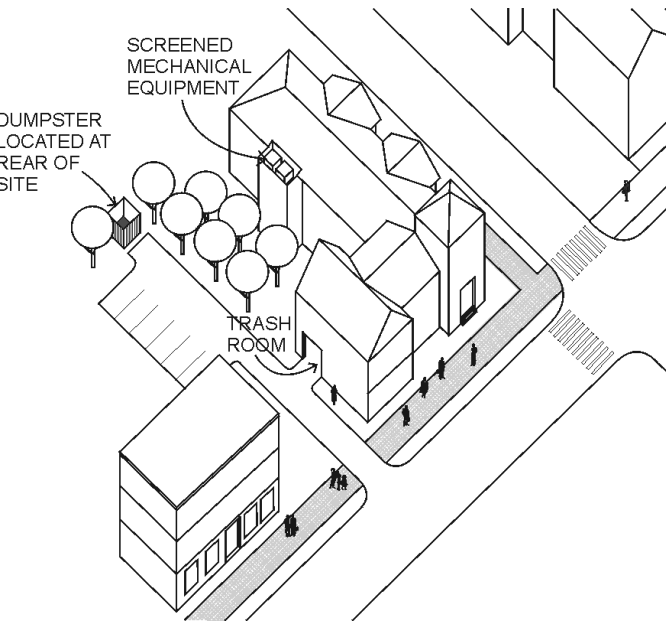
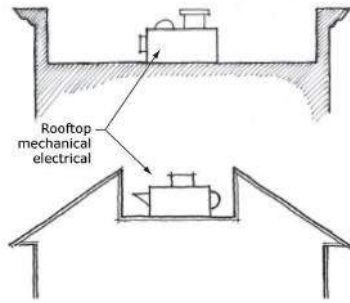
# DOWNTOWN 5b

Relaxing those requirements will make it easier to build multi-family in N/SWBD.

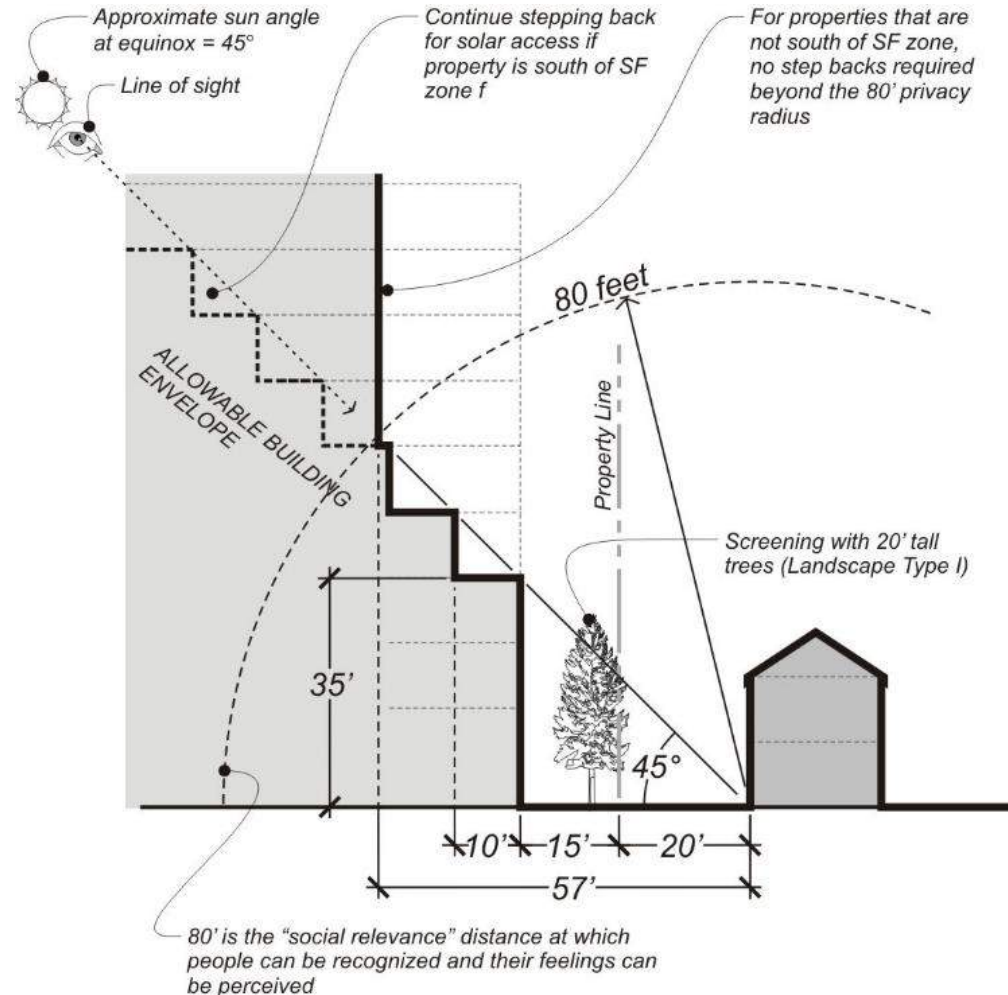


## SITE PLANNING: MULTIFAMILY

Service area location and screening.



Protection of neighboring residences in Chapter 10.47.





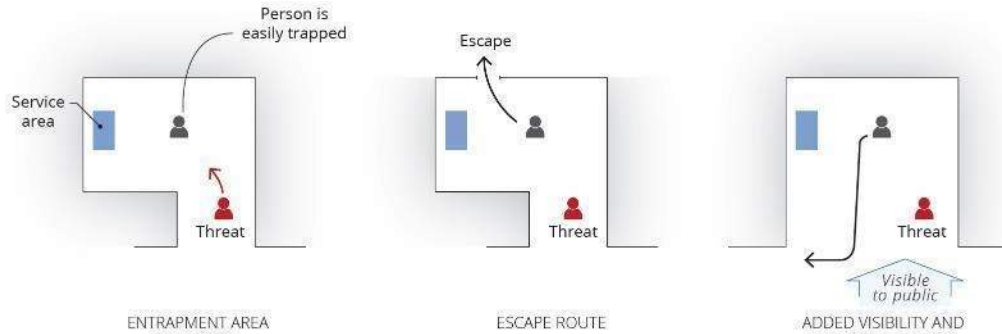
# SITE PLANNING: MULTIFAMILY OPEN SPACE

Chapter 10.47 will describe amount and how much and configuration of open space. Guidelines will address quality and character.

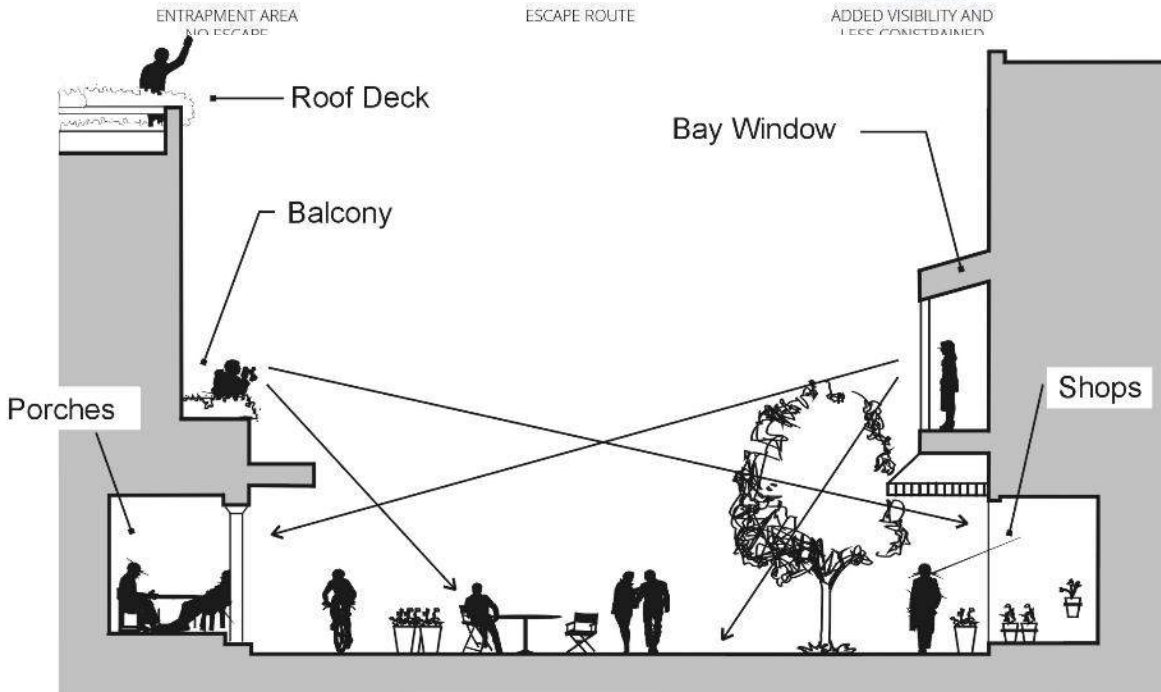
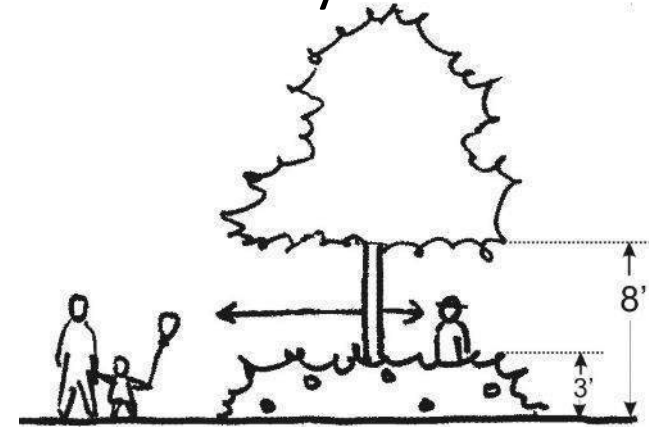


## SITE PLANNING FOR SECURITY

### Avoid entrapment areas



### Maintain visibility



### Passive surveillance



### Defining territory



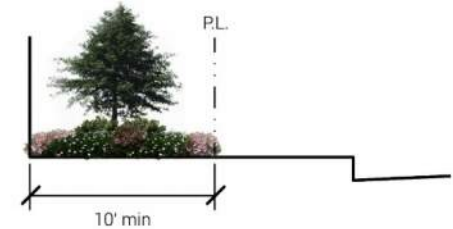
# SITE DESIGN



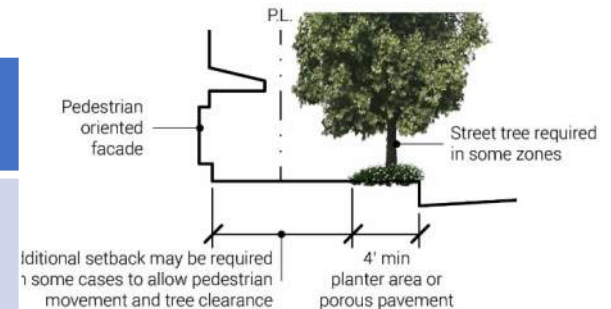


## SITE DESIGN: LANDSCAPING

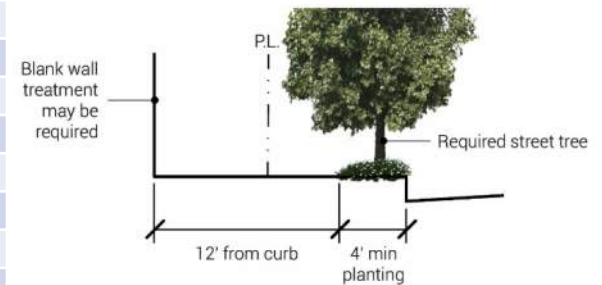
Add different options for front yard landscaping, especially in commercial zones such as NWBD and SWBD



**Type A** Street front landscaping in commercial zones



**Type B** Street front landscaping - Pedestrian oriented facade



**Type C** Street front landscaping - Street tree

**Type D** Street front landscaping - Per Ground Related Residential Units Guidelines C.1.1

	Allowable/Required Streetfront Landscaping Types				
	• = Allowable Option   R = Required   × = Not an Option   N/A = Not Applicable				
Zone	A. 10' Strip	B. Pedestrian Facade	C. Street Tree and Blank Wall Treatment	D. Ground-Related Unit Standards	E. Street Tree Required
CBD	See CBD Streetscape Standards				
NWBD	•	•	R	•	R
SWBD	•	•	R ?	•	R
CN	•	•	?	•	?
I	•	•	•	×	?
WMU	•	•	?	• ?	?
OMU	•	•	•	• ?	?
RMU	•	•	•	• ?	?
HEO	N/A	• (R)	• (×)		
CSO	N/A	N/A	N/A	N/A	N/A
MRC	•	•	?	•	R ?
IO	•	•	•	×	R ?
PO	See Waterfront Pedestrian Overlay Standards				
RRO	•	×	•	•	R ?

# SITE DESIGN: WALKWAYS & PATHWAYS



Connectivity



Accessibility



## Design Guidelines

# SITE DESIGN: OPEN SPACE ELEMENTS





## SITE DESIGN: LIGHTING



Condition	Lighting levels in foot-candles on the ground		
	Minimum	Maximum	Preferred
Low or non-pedestrian and vehicular traffic areas, private parking lots, secure storage areas, etc.	.5	1.5	.5
Moderate pedestrian areas and building entries, most walkways, some pedestrian oriented open spaces, etc.	1	4	2
High pedestrian areas such as building entries and areas where personal security is a concern	2	4	3
Public parking lots	.5	1.5	.5

## SITE DESIGN: FENCES

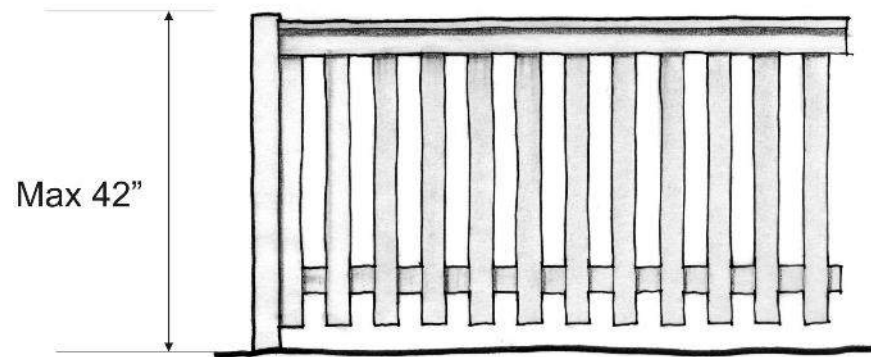


Unfriendly  
and unsafe

*Good fences  
make good  
neighborhoods!*



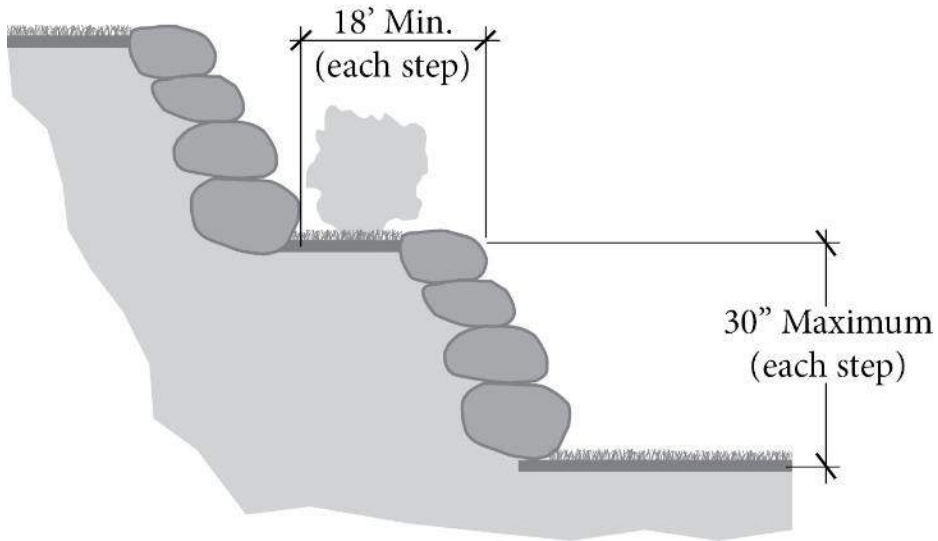
Chain link in front yard lowers value



A good example to  
maintain visibility



## SITE DESIGN: WALLS





# BUILDING DESIGN



# BUILDING DESIGN: NEIGHBORHOOD CHARACTER

Encourage architectural elements that reinforce the local neighborhood's character.



*Seattle Times*  
*March 28, 2019*

What is happening in Seattle: Big boxy houses replacing smaller houses.



## BUILDING DESIGN: NEIGHBORHOOD CHARACTER

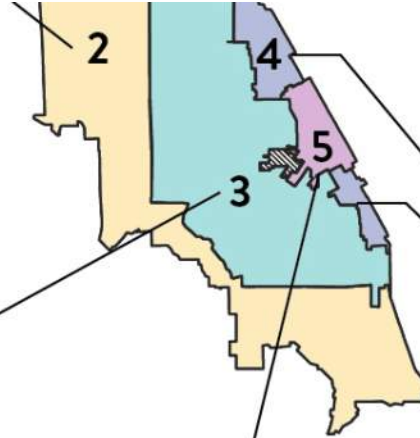
Encourage architectural elements that reinforce the local neighborhood's character.

### TYPICAL CHARACTER AREA ARCHITECTURAL ELEMENTS





## BUILDING DESIGN: NEIGHBORHOOD CHARACTER



### CORE RESIDENTIAL NEIGHBORHOODS

- Usable porches
- Simple roofs
- Vertical windows with details
- Traditional materials



### CBD

- Mix of window types
- Enhanced entry & window details
- Ornamental building details
- Traditional & decorative materials
- Accentuated entry



### NWBD, SWBD & OLD STATION

- Few existing residential buildings
- Architectural context currently undefined

## BUILDING DESIGN: FAÇADE COMPOSITION

### Townhouses



### Triplex

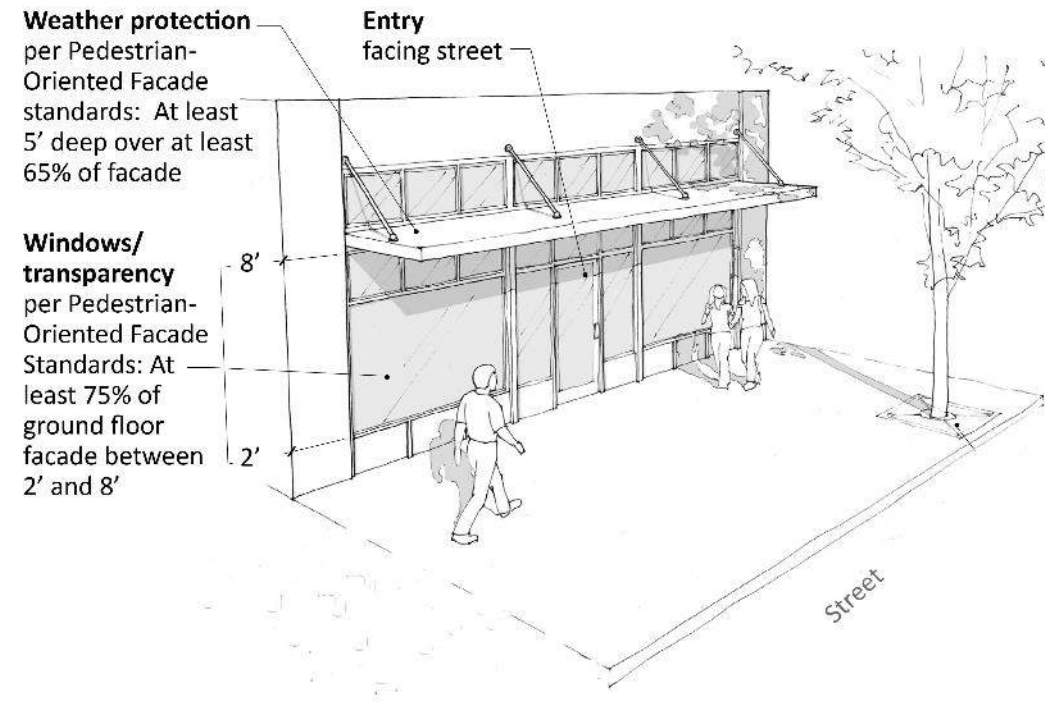


Multifamily façade  
break-up (articulation)

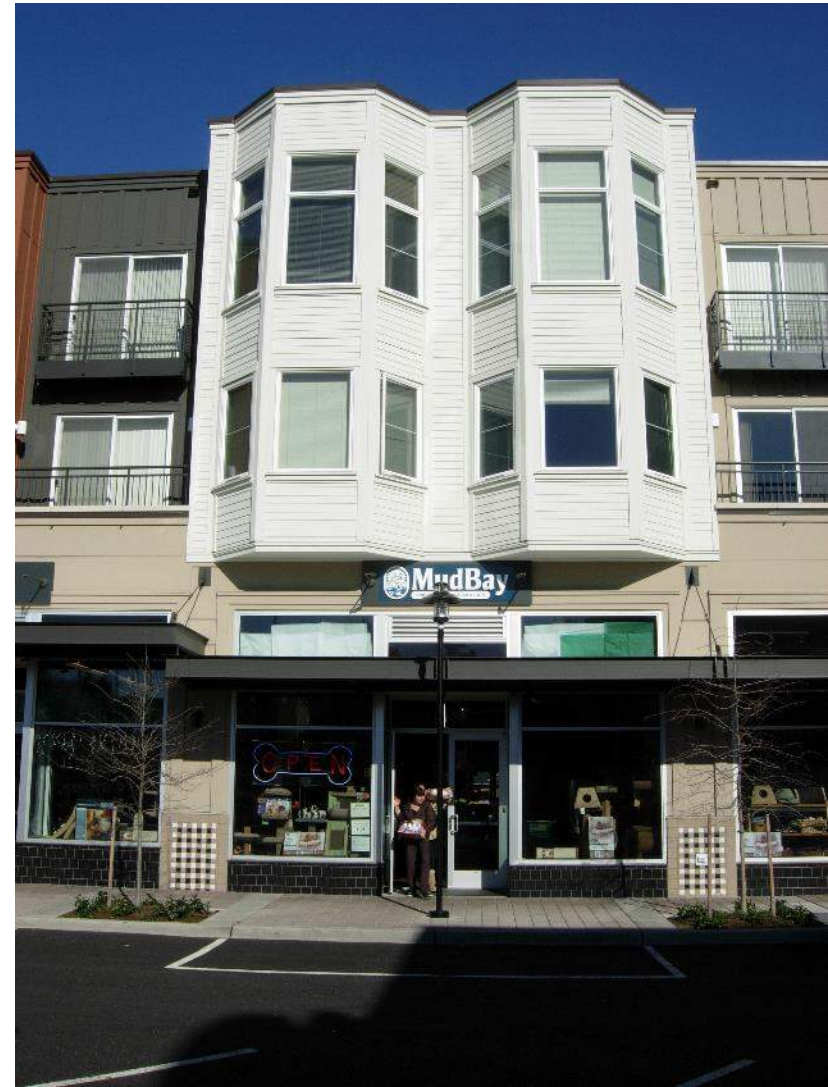




## PEDESTRIAN ORIENTED FACADES



For mixed use only





## BUILDING DESIGN: WINDOWS FACING THE STREET



Avoid



Better condition:  
About 15% window (+/-)  
area



# BUILDING DESIGN: ENTRANCES



Weather protection,  
(Porches are great)  
Light, Some special feature.



# BUILDING DESIGN: WINDOWS



Clusters



Frames and  
multiple  
panes



Recess

Measures add quality through window design



## Design Guidelines

# REQUIREMENTS FOR SOME MATERIALS



## Panel Systems



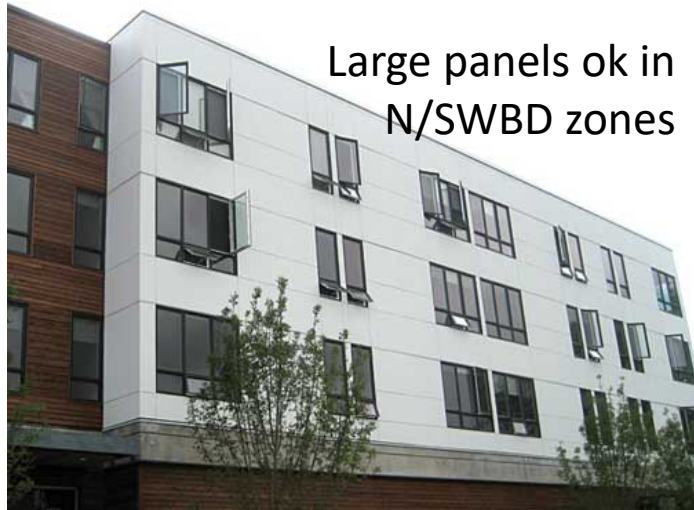
## Metal Siding



## DIFFERENT MATERIALS IN DIFFERENT AREAS



Panel system with detailing ok  
for houses



Large panels ok in  
N/SWBD zones

Materials	Core Res. - bottom floor	Core Res. - above first floor	Perimeter Residential	Sunnyslope	N/S Wenatchee Business Dist	CBD
Brick, stone, masonry except for CMU	P	P	P	P	P	P
CMU, Plain	N	N	N	S	SC	SC
CMU with enhancements	SC	SC	SC	SC	P	P
EIFS	N	SC	SC	SC	P	P
Metal siding	N	N	SC	SC	PC	PC
Cement panels (e.g.: Hardie Panels)	N	N	N	SC	PC	PC
Cement panels w/ pattern (e.g.: Hardie Plank)	P	P	P	P	P	PC
Lap siding, wood shingles or similar	P	P	P	P	S	S
Wood panels with special finish and texture	PC	PC	PC	PC	PC	PC
Mirrored or highly reflective surfaces	N	N	N	N	AC	N
Plastic or sheet fiberglass	N	N	N	N	N	N
Ceramic tile and similar	A	A	A	A	S	S
Concrete	C	C	C	C	C	C
Stucco	C	C	C	C	C	C



# Next Steps





# Wenatchee Housing Code Update

Planning Commission Briefing  
July 17, 2019

Zoning and  
Guideline  
Proposals

